



**Stratham Planning Board
AGENDA
January 19, 2022
Stratham Municipal Center
Hutton Room
Time: 7:00 PM**

The public may also access this meeting at the date and time above using this conference call information. Please dial **1-800-764-1559** and input **4438** when prompted for a user pin/code. Please follow the Chair's instructions delivered at the meeting in order to register comments during the public meeting.

If at any time during the meeting you have difficulty hearing the proceedings, please e-mail mconnors@strathamnh.gov.

1. Call to Order/Roll Call

2. Approval of Minutes:

- a. January 5, 2022

3. Public Hearing:

- a. Stratham Retail Management, LLC (Owner), Request for site plan approval to construct a 10,260 square-foot medical office building and associated improvements at 23 Portsmouth Avenue (Tax Map 4, Lot 13), Zoned Gateway Commercial. Applicant's representative is Stonefield Engineering and Design, 92 Park Avenue, Rutherford, NJ 07070.
- b. The Planning Board will hold a public hearing on the proposed zoning amendments outlined below. The full text of the amendments is available at the Planning Department and on the Town website at www.strathamnh.gov.
 - i. Amendment #3: Accessory Dwelling Units. To delete Sub-Section 5.4 Accessory Dwelling Units in its entirety and to replace with a revised Sub-Section 5.4 Accessory Dwelling Units to clarify the requirements associated with accessory dwelling units and to enact additional requirements for detached accessory dwelling units to ensure that such uses do not create the appearance of two primary residences on a single lot.
 - ii. Amendment #4: Solar Energy Systems. To delete Sub-Section 5.14.4.2 Setbacks for Solar Energy Systems in its entirety and replace with a revised Sub-Section 5.14.4.2 in order to require small-scale ground-mounted solar energy systems to meet the minimum property setbacks of the applicable zoning district and to increase the front setback requirement for medium- and large-scale systems.
 - iii. Amendment #5: Route 33 Legacy Highway Heritage District. To create a new zoning district, the Route 33 Legacy Highway Heritage District, for parcels with frontages along the Route 33 corridor from the Town Center District to the

Greenland town line. The intent of the District is to encourage historic preservation and adaptive re-use of structure through both greater regulation of demolitions and major building alterations as well as through greater flexibility in land uses.

- iv. Amendment #6: Table of Uses. To delete Section 3.6 Table of Uses and Footnotes to Table 3.6 in its entirety and replace with a revised Section 3.6 Table of Uses and Footnotes to Table 3.6 in order to better clarify permitted and prohibited uses by zoning district.
- v. Amendment #7: Definitions. To amend Section II Definitions to provide definitions for land uses included in the Table of Uses to better define and clarify the permitted nature and scope of land uses.
- vi. Amendment #8: Table of Dimensional Requirements. To amend Section 4.2 Table of Dimensional Requirements and Section 4.3 Explanatory Notes to clarify the minimum frontage requirement for residential parcels and properties in the Professional/Residential District.
- vii. Amendment #9: Affordable Senior Housing. To eliminate Section 5.7 Affordable Senior Housing and re-number subsequent sections of the Ordinance, because the Ordinance already provides for Elderly Affordable Housing and this section is duplicative. This is a housekeeping amendment to eliminate inconsistencies related to the land use in the Ordinance.
- viii. Amendment #10: Building Ordinance. To amend Section 16.2.1 of the Building Ordinance to add a Sub-Section A to prohibit the issuance of building permits for a property if existing non-inspected permits are outstanding on the property.

4. Public Meeting:

- a. Discussion of Pedestrian Cyclist Advisory Committee

5. Adjournment

Full text of the agenda and related information can be found on file with the Stratham Planning Department and posted on the Town website at <https://www.strathamnh.gov/planning-board>. All interested persons may be heard. Persons needing special accommodations and /or those interested in viewing the application materials should contact the Stratham Planning Department at (603) 772-7391 ext. 180.



TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board / Administration/ Assessing 603-772-7391

Code Enforcement/ Building Inspections/ Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board members
FROM: Mark Connors, AICP, Town Planner
DATE: January 15, 2022
RE: **23 Portsmouth Avenue Site Plan Application**

I. PROPERTY DESCRIPTION & BACKGROUND

The subject property is 1.4 acres and includes approximately 180-feet of frontage along Portsmouth Avenue. It is located between the 110 Grill and Market Basket. To the west, the property abuts the frontage for McInnis Avenue, a private road that links the Market Basket and Shaw's sites. The property includes an old barn that is largely dilapidated. The site is mostly level but does drop in elevation from north to south. The property was sold on December 17, 2021 transferring from ZJBV Properties, LLC to Stratham Retail Management, LLC for \$1.65 million.

The applicant has appeared before the Planning Board for two Preliminary Consultations in November and December. At the first, the Planning Board provided negative feedback to the initial architectural plan and the applicant returned with a substantially modified architectural plan that was much more positively received. The proposed architecture in this application is substantially similar to the one the Board reviewed in December. Subsequently, the applicant submitted this application for site plan approval while working with the NH Department of Transportation in order to obtain a Driveway Permit.

II. PROJECT DESCRIPTION

The applicant is proposing a 10,260 square-foot one-story medical-office building. The use is permitted by right in the Gateway Commercial District and should help balance the commercial uses in this area of Stratham. The abutting properties are heavily retail and restaurant-oriented. The plan includes 66 parking spaces where 55 are required under the Town Regulations. The site plan includes an electric charging parking space and a bike parking rack. The plan allows for full access to the site from Portsmouth Avenue but only for right-turning traffic exiting the facility.

Architecture

The architecture is a great deal improved from the initial conceptual discussions with the Planning Board. Exterior materials include fiber cement block wall panels (in dark grey), modular brick in light and dark grey, and cement board panels designed to mimic the appearance of wood. The addition of the prominent windows to the front façade makes for a substantial

improvement and provides for a more visually interesting building particularly from the view of the front façade. Staff had suggested additional detail to the windows, higher roof pitches to the areas of the building with a sloped roof, and consideration of replacing the dark grey block panels with a material that might more closely resemble traditional siding, however the applicant has not incorporated those comments into the architectural plans.

The applicant has supplemented the Architecture with 3D renderings that are helpful to help visualize the building. However, the 3D elevations are slightly different than what is proposed in Stratham. For example, there is no parking in the front setback though that is depicted in the elevations. Also, the windows proposed along the north side façade are much larger in the 3D elevations than what is depicted in the 2D elevations. The applicant will have to modify the Architecture Plan to account for the inconsistencies.

The challenge is that the building is placed so close to Portsmouth Avenue that most people will encounter the building from the sides as they travel along Portsmouth Avenue. Thus, the most prominent views of the buildings will be of the side elevations where there has not been the same degree of architectural treatments. Staff would recommend one of three options be considered: (1.) The Building be moved further back on the lot to provide views of the front façade; (2.) The landscaping at the front of the site be significantly supplemented to soften views of the building; (3.) The side elevations of the building are revised to bring those facades of the building more in conformance with the Gateway requirements.

Building Site Design

The proposed building placement is probably the most conforming of any recent development with many of the Gateway requirements as it places the building quite close to the Portsmouth Avenue right-of-way. With that said, the building placement will be the closest to Portsmouth Avenue of any recent building project in Stratham and may be jarring for some. The building's placement so close to the roadway will have the effect of de-emphasizing the front façade of the building and making the side elevations more prominent as viewed from Portsmouth Avenue.

Landscaping

The Landscape Plan includes a significant number and good mix of plantings including 33 trees. However, the landscaping is largely concentrated on the sides and rear of the site. The site plan meets the Gateway requirement for a minimum of street trees. The plan includes nine Kindred Spirit Oak trees along the front property boundary where eight are required. The Landscaping Requirements do require that landscaping soften views of the building. Because the side elevations will be very prominent on this structure, staff does not believe the proposed landscaping quite accomplishes this as there are no trees proposed along the side setbacks. Staff would recommend additional trees be planted in the front corners of the property, particularly in the southeast corner where there is substantial additional area for plantings, in order to soften views toward the building from Portsmouth Avenue. It would be helpful to include plantings along the south side façade of the building. Although the 3D architectural renderings show plantings located directly alongside the building, none are proposed in the Landscape Plan.

Parking & Traffic Circulation

The site plan provides for full access for traffic entering the site, so that both north- and south-bound traffic on Portsmouth Avenue will be able to access the site. However, traffic exiting the

site will only have the option of turning right to travel southbound on Portsmouth Avenue. Traffic wishing to exit the site to travel north will need to exit the site on to McInnis Avenue and utilize the traffic signals at either Shaws or Market Basket. The applicant has provided a Trip Generation Report estimating that the use will generate approximately 30 additional trips during the AM weekday peak hours, 38 trips during the PM peak hours, and 30 trips during the Saturday peak hours. Because the use is located on a busy corridor, it is not anticipated to significantly impact the traffic operations of the existing transportation network. The Trip Generation Report should be revised to note the hours when peak hours are projected and the applicant should be prepared to discuss this with the Planning Board. Finally, because McInnis Avenue is a private road, the applicant should record an agreement with the owner providing for permanent access to the road or provide such an agreement to the Planning Department if one has already been negotiated.

The entrance and exit lanes on to Portsmouth Avenue have been widened at the suggestion of NHDOT to accommodate truck traffic. Staff understands the need to widen the entrance lane but questions the need to widen the exit lane. It would be safer for trucks to exit the site on to McInnis Avenue and utilize the traffic signals at those sites. The widening of the exit lane also makes it more likely for exiting traffic to illegally turn left as it softens the geometry of the turn radius. Staff would like to circle back with NHDOT to determine if the widening of the exit sleeve is really necessary in order to obtain a NHDOT Driveway Permit.

Staff is also concerned that without some mitigation, the driveway provides a direct route for cut-through traffic looking to avoid the traffic signal to access the Shaws site. Some mitigation, including speed humps or alteration of the exit driveway geometry, should be incorporated to reduce the likelihood of cut-through traffic utilizing the driveway to avoid the traffic signal.

Pedestrian Access & Connectivity

The site plan includes an internal sidewalk on the side and front of the site but does not include any pedestrian connectivity to abutting properties or along the road frontage. The Board should discuss whether additional pedestrian connectivity should be incorporated into the plan. The abutting properties, Market Basket and 110 Grill, do not include sidewalk facilities, however it may be helpful to provide pedestrian access from Portsmouth Avenue to McInnis Road.

Stormwater

The development will generate approximately 36,000 square-feet of additional impervious surfaces. The applicant has submitted a complete Stormwater Report. The applicant is proposing an underground conveyance and treatment system and roof drains to treat stormwater runoff generated from the development. The Stormwater Report is quite large but is available for review at https://drive.google.com/file/d/183CtGPf9dwfoUiu0gYmItgraA71zbe_/view. The stormwater mitigation measures appear to meet the Town's requirements.

Staff would recommend that the plans undergo a peer engineering review and that the site be inspected during construction to ensure that stormwater treatment facilities are constructed according to plan. Additionally, the applicant should work with the Town to record an Operations and Maintenance Plan for the stormwater facilities as well as a document obligating successive owners of the property to maintain the stormwater facilities in good working order. These measures are important to ensure that the Town adheres to the MS4 Permit requirements it is under. Because the stormwater treatment facilities are mostly located underground, it is

unlikely that any modifications to the system in response to peer review would result in substantive changes to the site itself.

Lighting, Utilities

The applicant proposes seven freestanding exterior lights. As currently proposed, the Lighting Plan requires a waiver from the Site Plan Regulations in order to allow illumination levels at the property boundary to exceed the Town Requirements. Along the front boundary with Portsmouth Avenue, illumination levels would measure approximately 1.7 foot-candles whereas the Town requires light encroachment not exceed 0.3 foot-candles. Along the McInnis Avenue frontage, illumination levels would measure 0.8 foot-candles. Staff is not supportive of granting these waivers as the Lighting Plan could be easily modified to be significantly more conforming with the Town requirements.

The applicant is proposing a retaining wall along both side frontages. The plan should be updated to include details for the retaining wall. Most of the proposed signage is wall-mounted, though the applicant is proposing a freestanding sign along McInnis Avenue. A double dumpster pad in the northwest corner of the parking lot would be screened consistent with Town requirements.

III. WAIVERS

This application requires a waiver from Section 5.8.b.i of the Site Plan Regulations in order to allow illumination levels at the property boundary in excess of 0.3 foot-candles, including at 1.7 foot-candles on the Portsmouth Avenue frontage and 0.8 foot-candles at the McInnis Avenue frontage. The applicant will need to provide a waiver request to the Board or modify the plan to negate the need for the waiver.

IV. STAFF COMMENTS

Staff would recommend that the Planning Board provide the applicant an opportunity to present the plans and to allow for Board members and others to provide their comments. Staff would recommend the Board table action on the application to allow the applicant an opportunity to respond to Board comments and those included in the staff report.



**Town of Stratham, NH
Site Plan Review Application**

Map# 4 Lot# 13

Project Name: Proposed Medical Office

Location: 23 Portsmouth Avenue

Project Description: Proposed 10,000 SF medical office with off-street parking and other related site improvements.

Zone: Gateway Commercial New Industrial / Commercial Square Footage: 10,000 SF
or Number of Residential Units: _____

Applicant:

Name: Brandon Schram Phone: 248-798-0600

Company: Stratham Retail Management LLC Fax: _____

Address: 30200 Telegraph Road, Suite 205, Bingham Farms, MI 48025

Owner:

Name: Gabe Schuchman Phone: 248-646-9999

Company: Stratham Retail Management LLC Fax: _____

Address: 30200 Telegraph Road, Suite 205, Bingham Farms, MI 48025

Agent:

Contact Name: Jake Modestow Phone: 201-340-4468

Company: Stonefield Engineering & Design Fax: 201-340-4472

Address: 92 Park Avenue, Rutherford, NJ 07070

Email Address: jmodestow@stonefieldeng.com

By signing this application, you are agreeing to all rules and regulations of the Town of Stratham, and are agreeing to allow agents of the Town of Stratham to conduct inspections, during normal business hours, of your property, to ensure compliance with all Stratham Zoning and Site Review regulations while your application is under consideration and during any construction and operational phases after approval is granted.

The Signor shall be the owner or the signor shall provide a letter signed by all the property owners giving the signor permission to represent the owner in presentation of this application.

Signed: [Signature] Date: 12/09/22

Fees:

Notification Fee: \$150.00 plus Abutters Fee: 9 Abutters X \$8.00 = \$ 72.00

Site Review Fee*: \$ 1,000.00 One-Hundred (\$100) dollars for each 1,000 square feet of building construction – with a minimum of one-hundred (\$100) dollars.

Preliminary Consultation as provided for under Section 4.1, a filling fee of \$75.00.

Total Fees: \$ 1,222.00

See Section 4.2.7 of the Site Review Regulations for fee schedule.
*Additional fees may be charged to cover inspection and review cost.

For Office Use Only

Date Application Received: _____ Total Fees Collected with Application: \$ _____ .00

Abutters List Received: _____ Check List Received: _____

PB Hearing Date: _____ Notice Date: _____ PB Jurisdiction Acceptance Date: _____

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**Town of Stratham
Site Plan Review Checklist**



Project Name: _____

Map # _____ Lot # _____ Date: _____

Site Plan Review - Information Checklist

A site plan review application shall contain the following information, where applicable, to be considered complete. However, this checklist is intended only as a guide; the Planning Board may require additional information as deemed necessary. All plans shall conform to the applicable requirements of the Zoning Ordinance, Building Ordinance, Subdivision and Site Plan Review Regulations, and other state, local, and federal requirements. (All data/information sources should be referenced.)

X – Information Provided

O – Information Not Provided

W – Waiver Requested

I. Preliminary Consultation

_____ **A. Base map drawn to scale**

- _____ 1. General description of existing conditions on the site.
- _____ 2. Any facilities and utilities.
- _____ 3. Dimensions and sizes of the proposed structure(s).
- _____ 4. Topographic map showing the proposed layout of the site: parking, driveways(s), sidewalks.

II. Formal Application

_____ **A. Completed "Application for Site Plan Review".**

_____ **B. Names and addresses of all abutters.**

_____ **C. Administrative fees (payable to the Town of Stratham).**

_____ **D. High intensity soils information with sewage disposal and lot size calculations.**

_____ **E. Data on test pits and percolation tests:**

_____ Location of test pits.

_____ Percolation test date and rate.

_____ Certification of test witness.

_____ Outline of the area reserved for leach fields.

_____ **F. Six complete sets of prints drawn to scale with the following:**

_____ Sheet size of 22" x 34".

_____ Appropriate scale.

_____ Space for Planning Board signature and date.

_____ **G. Additional submission requirements:**

_____ Nine 11 X 17 copies of proposed plan.

_____ One copy of the plan in a digital format referenced to NH State Plane feet, NAD 83, in a format compatible with the town's ESRI ArcView GIS system.

_____ Three copies of any engineering or impact reports.

**Town of Stratham
Site Plan Review Checklist**


- _____ Three sets of printed labels for abutter mailing.
- _____ 1. Existing data required.
- _____ a. Site location, current names and addresses of developer, owners of record, abutting landowners.
- _____ b. Names and addresses of person/firm preparing the map with other information:
- _____ Stamp by registered architect and/or professional engineer.
- _____ Map scale.
- _____ North arrow.
- _____ Date.
- _____ Tax map and parcel number.
- _____ Size of parcel.
- _____ c. Topographic contours.
- _____ d. Boundary lines.
- _____ e. Natural features.
- _____ f. Drainage systems and roads.
- _____ g. Structures within 200 feet
- _____ h. Easements and rights-of-way.
- _____ i. Location of utilities.
- _____ j. Vicinity sketch showing surrounding streets, zoning districts, site boundaries, and 100 year flood plain.
- _____ k. Soils map.
- _____ 2. Proposed Plans.
- _____ a. Grades, topographic contours.
- _____ b. Plan view of proposed structures and/or alterations; rendering of exterior design.
- _____ c. Data for streets, driveways, etc.: location, size, direction of travel, curbing, paving and curve radii.
- _____ d. Parking and loading facilities.
- _____ e. Location of utilities.
- _____ f. Storm drainage plan with supporting calculations.
- _____ g. Landscaping and screening.
- _____ h. Sign location, size, and design.
- _____ i. Outdoor lighting.
- _____ j. Surveyed property lines with monument locations.
- _____ k. Construction details (e.g. walks, curbing, drainage structures, etc.).
- _____ l. Snow storage area.
- _____ m. Solid waste disposal receptacles and screening.
- _____ n. Fire protection (e.g. fire lanes, alarms, etc.).
- _____ o. Erosion and sedimentation control methods.

**Town of Stratham
Site Plan Review Checklist**

- _____ p. Site Review Agreement.
- _____ q. Other exhibits, if applicable:
- _____ Performance Bond.
- _____ Maintenance Bond.
- _____ Information on pollutants discharge and/or noise generation.
- _____ Traffic impact analysis.
- _____ Natural/Environmental Recourses Inventory
- _____ Environmental/Forestry Impact Report
- _____ State and local permits (e.g. state septic system [RSA 149-E:3], site specific [RSA 149:8-a], driveway access [RSA 236:13], dredge and fill [RSA 483-A], etc.).

Note: For more complete information, it is strongly recommended that the applicant read Stratham's "Subdivision and Site Plan Review Regulations" (2004), as well as the Town's Zoning Ordinance (2004) and Building Ordinance. (2002).

I certify that the information provided is complete and correct to the best of my knowledge.

Signed: _____  _____ Date: _____



LCHIP	ROA599963	25.00
TRANSFER TAX	RO112297	24,750.00
RECORDING		22.00
SURCHARGE		2.00

WARRANTY DEED

Know all men by these presents, that ZJBV Properties LLC of 300 Gay Street, Manchester, NH 03103, a New Hampshire Limited Liability Company (herein called "**Grantor**")

For consideration paid

Grant to STRATHAM RETAIL MANAGEMENT LLC, a Michigan limited liability company, with an address of 30220 Telegraph Road, Suite 205, Bingham Farms, MI 48025 (herein called "**Grantee**")

WITH WARRANTY COVENANTS

GRANTOR, for and in consideration, the receipt and adequacy of which are hereby acknowledged, by these presents does GRANT, SELL AND CONVEY unto Grantee the fee simple interest of that land situated in **Rockingham County, New Hampshire**, commonly known as **23 Portsmouth Avenue, in the Town of Stratham, County of Rockingham, State of New Hampshire**; and more particularly described on Exhibit A attached hereto, together with all rights, title, interest and privileges of Grantor in and to any and all buildings thereon, and (ii) all adjacent streets, roads, alleys, rights-of-way, easements, strips and gores of land, and (iii) all rights and appurtenances in any wise belonging unto Grantee in connection with the foregoing ("Premises");

See attached Exhibit A for description

For title see deed recorded with Rockingham Registry of Deeds at Book 5759, Page 0143.

(SIGNATURE BLOCKS ON FOLLOWING PAGES)

Executed as a sealed instrument this 3rd day of December 2021.

ZJBV PROPERTIES, LLC

By


Brian Thibeault, Manager
ZJBV Properties LLC

State of New Hampshire

Merrimack, ss

On this 3 day of December, 2021, before me, the undersigned notary public, personally appeared **Brian Thibeault, Manager of ZJBV Properties LLC**, proved to me through satisfactory evidence of identification, which were ☒ Driver's License; ☐ State ID; ☐ Passport; ☐ Other Government Issued ID; ☐ Other, to be the person whose name is signed on the preceding or attached document, and acknowledged to me that he/she/they signed it voluntarily for its stated purpose, and as the free act and deed of **ZJBV Properties LLC**, before me.




Notary Public:
My Commission Expires:

EXHIBIT A DESCRIPTION OF PREMISES

A certain tract or parcel of land, situated in Stratham, Rockingham County, New Hampshire and shown as Lot 5-2 on a plan entitled "Subdivision Plan of Stratham Crossing for Aries, LLC, Tax Map 1, Lot 5, Route 108 (Portsmouth Ave.), Stratham, New Hampshire" dated June 29, 2005 and revised through September 27, 2005, and recorded at the Rockingham County Registry of Deeds (the "Registry") as Plan #D-33126 prepared by Doucet Survey Inc. (the "Subdivision Plan"), which parcel is more particularly bounded and described as follows:

1. Beginning at a granite bound on the westerly side of Route 108 (Portsmouth Avenue) and running along a curve with a radius of 995.00, an arc length of 141.26 feet, a delta of 08°08'04", a chord bearing of South 21°57'33" West, and a chord distance of 141.14 feet to a point;
2. South 17°53'31" West, a distance of 46.99 feet to a point;
3. South 17°53'31" West, a distance of 10.82 feet to a granite bound at other land of Arles, LLC;
4. North 72°06'01" West, a distance of 320.63 feet to a granite bound;
5. North 29°29'32" East a distance of 23.85 feet;
6. North 29°29'32" East, a distance of 184.49 feet to a granite bound in a stone wall at land of Valley Properties, Inc.;
7. South 70°52'40" East, a distance of 49.77 feet to an iron pipe;
8. South 70°52'40" East, a distance of 136.30 feet to an iron pipe;
9. South 71°14'48" East, a distance of 91.24 feet to a ¾" iron pipe;
10. South 71°14' 48" East, a distance of 11.49 feet to the granite bound at the point of beginning.

Said parcel contains 1.397 acres, more or less, according to said Subdivision Plan.

TOGETHER WITH the benefit of the following appurtenant rights and easements to the Arles Property, as follows:

- a. The Development Agreement with Grant of Easement dated October 10, 2003 and recorded at the Registry in Book 4191, Page 1102, as amended by First Amendment to Development Agreement with Grant of Easement dated October 24, 2005 and recorded in Book 4569, Page 2208.

The Declaration of Access Easements dated November 24, 2003 and recorded in said Registry at Book 4230, Page 1148, as further referenced in Confirmatory Quitclaim Deed from Arles, LLC to Lionel R. Labonte dated September 29, 2005 and recorded in said Registry at Book 4569, Page 2228, and as shown on Sheet 4 of that certain plan of land entitled "Overview Site Plan, Stratham Crossing, Route 108, Portsmouth Avenue, Stratham, NH, Aries, LLC" dated December 28, 2001, revised through August 8, 2003, and recorded in the said Registry as Plan D-31131, and in part referred to as the "North Access Dr." and "Main Access Drive" on said Plan. See also Notice of Easements recorded in said Registry on April 1, 2004 at Book 4260, Page 2229.

SUBJECT TO the use restrictions burdening the Property described herein (the LabonteProperty) for the benefit of the Aries Property as set forth in Confirmatory Quitclaim Deed datedSeptember 29, 2005 and recorded in the said Registry in Book 4569, Page 2228, restricting the Labonte Property from use for the sale of any food products for off premises consumption, including the sale of meat, product, dairy or frozen products or other supermarket related sales or business. In addition, the property shall not be used for any "convenience" store use, wholesale club, baking, meat or food specialty store use.

RESERVING to said Stratham Hardware and Lumber Company, Inc. the privilege of maintaining a power line leading from Portsmouth Avenue to the mill of said Stratham Hardwareand Lumber Company, Inc. lying Westerly of the described premises, said power line running from a pole on the Southerly boundary line in a Northwesterly direction over the Southwesterly area of the described premises, as originally reserved in deed of Stratham Hardware and Lumber Co., Inc. to June King McCoy and Helen L. Muncschenk dated October 28, 1963 and recorded in the said Registry in Book 1694, Page 380.

To Whom It May Concern:


I Gabriel Schuchman (Stratham Retail Management LLC) 30200 Telegraph Rd,
(Name) (Mailing Address)
Suite 205, Bingham Farms, MI 48025, being

Owner of property located at

23 Portsmouth Ave, Stratham, NH, hereby agree to allow Stonefield Engineering and Design
(Name)

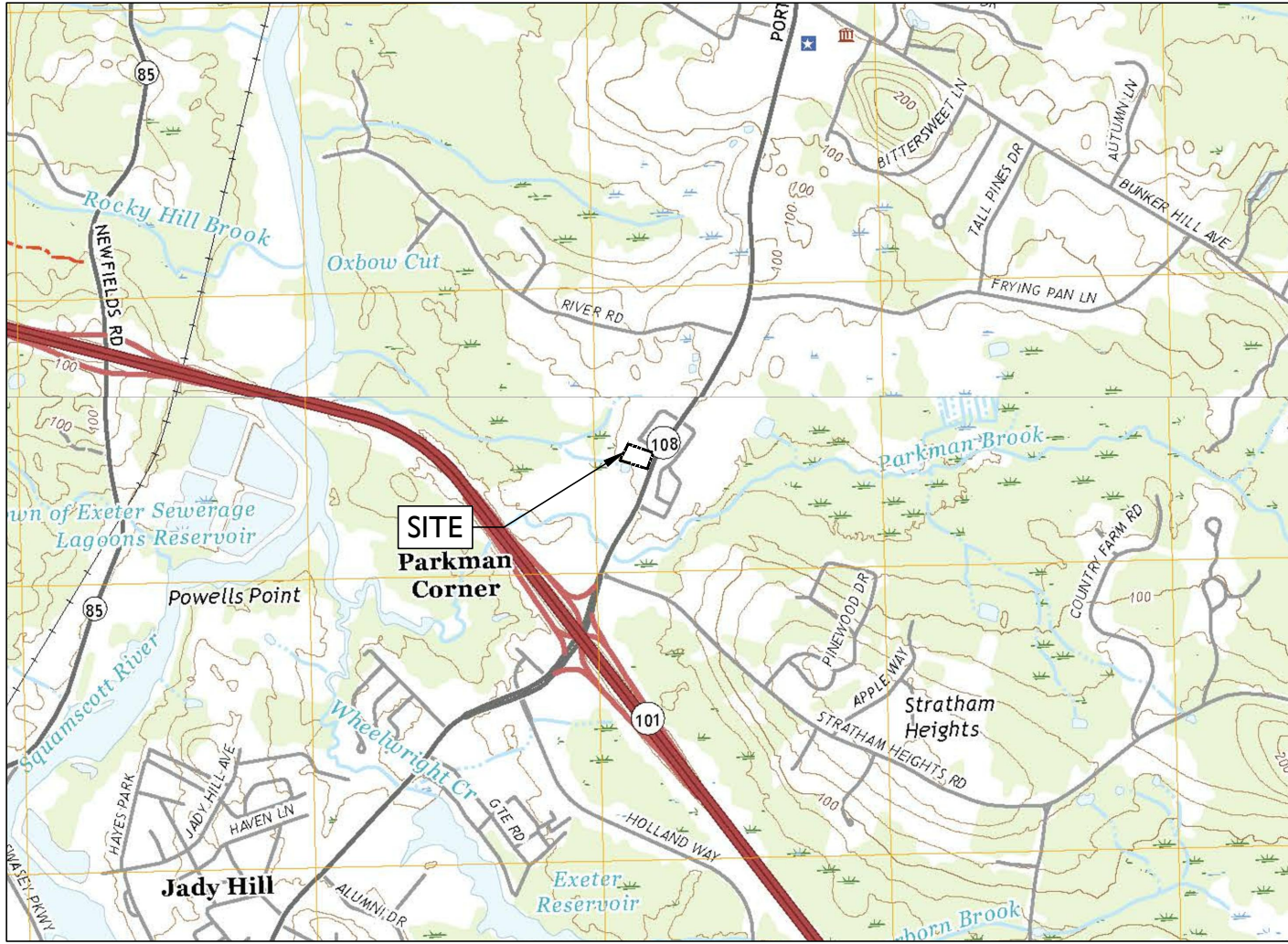
120 Washington Ave, Suite 201, Salem, MA, to act and represent on my behalf including
(Mailing Address)
affixing my signature in securing permits and approvals.

I further agree to conform to, and abide by, All Town rules and ask regulations
applicable to the permit (s) being applied for:

Name 
Signature

30200 Telegraph Rd, Suite 205, Bingham Farms, MI 48025
Address

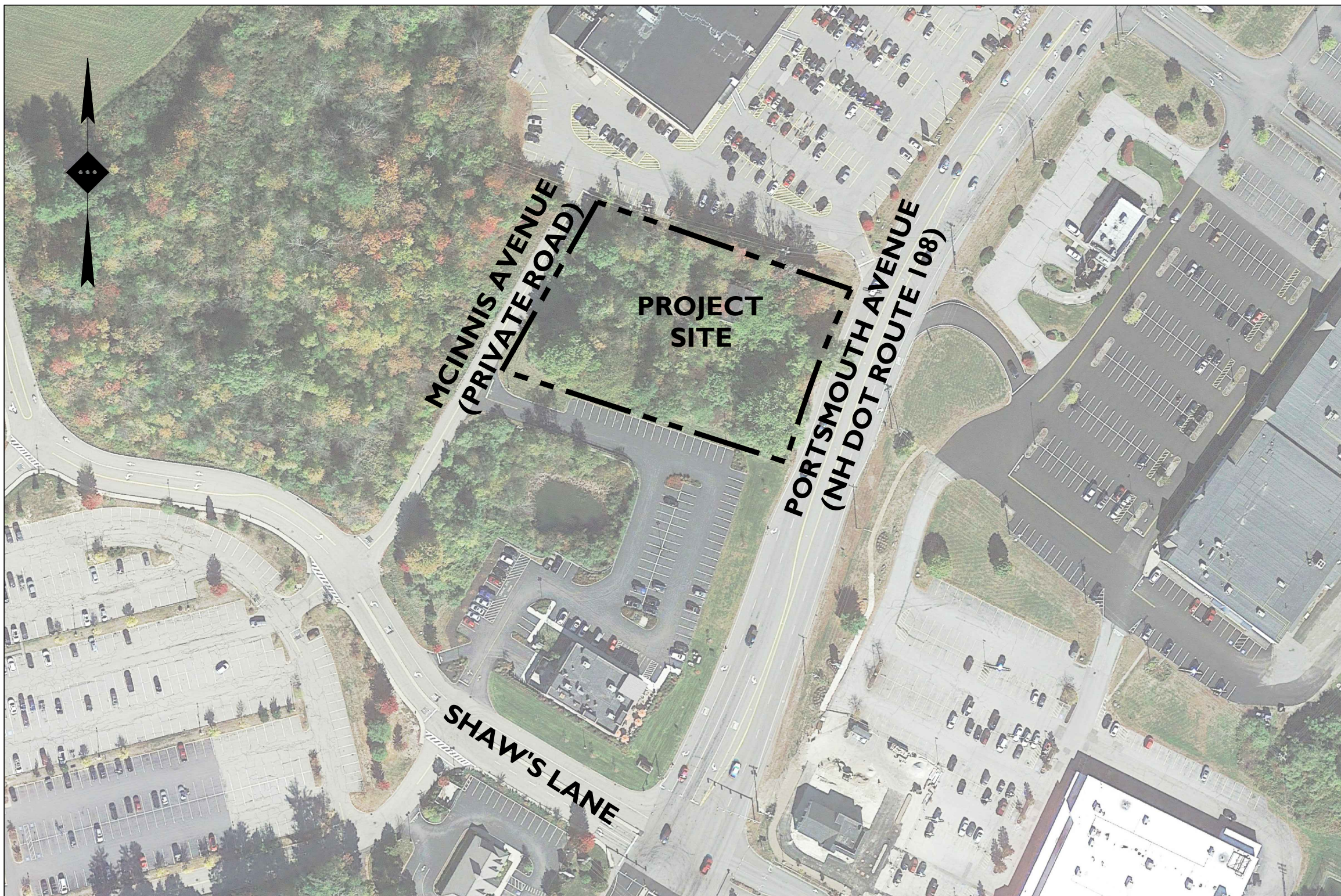
12/29/2021 248-723-3448
Date Telephone Number



SOURCE: UNITED STATES GEOLOGICAL SURVEY TOPOGRAPHICAL MAP, EXETER, NH, 7.5 MINUTE SERIES, 2021

KEY MAP

SCALE: 1" = 2000'±



SOURCE: GOOGLE EARTH PRO, IMAGE RETRIEVED OCTOBER 28, 2021

AERIAL MAP

SCALE: 1" = 120'±

FINAL SITE PLAN

FOR

Optima DERMATOLOGY PROPOSED MEDICAL OFFICE

PARCEL ID: 04-013-00

23 PORTSMOUTH AVENUE

TOWN OF STRATHAM

ROCKINGHAM COUNTY, NEW HAMPSHIRE

TOWN OF STRATHAM PLANNING BOARD APPROVAL	
PLANNING BOARD	DATE

APPLICANT

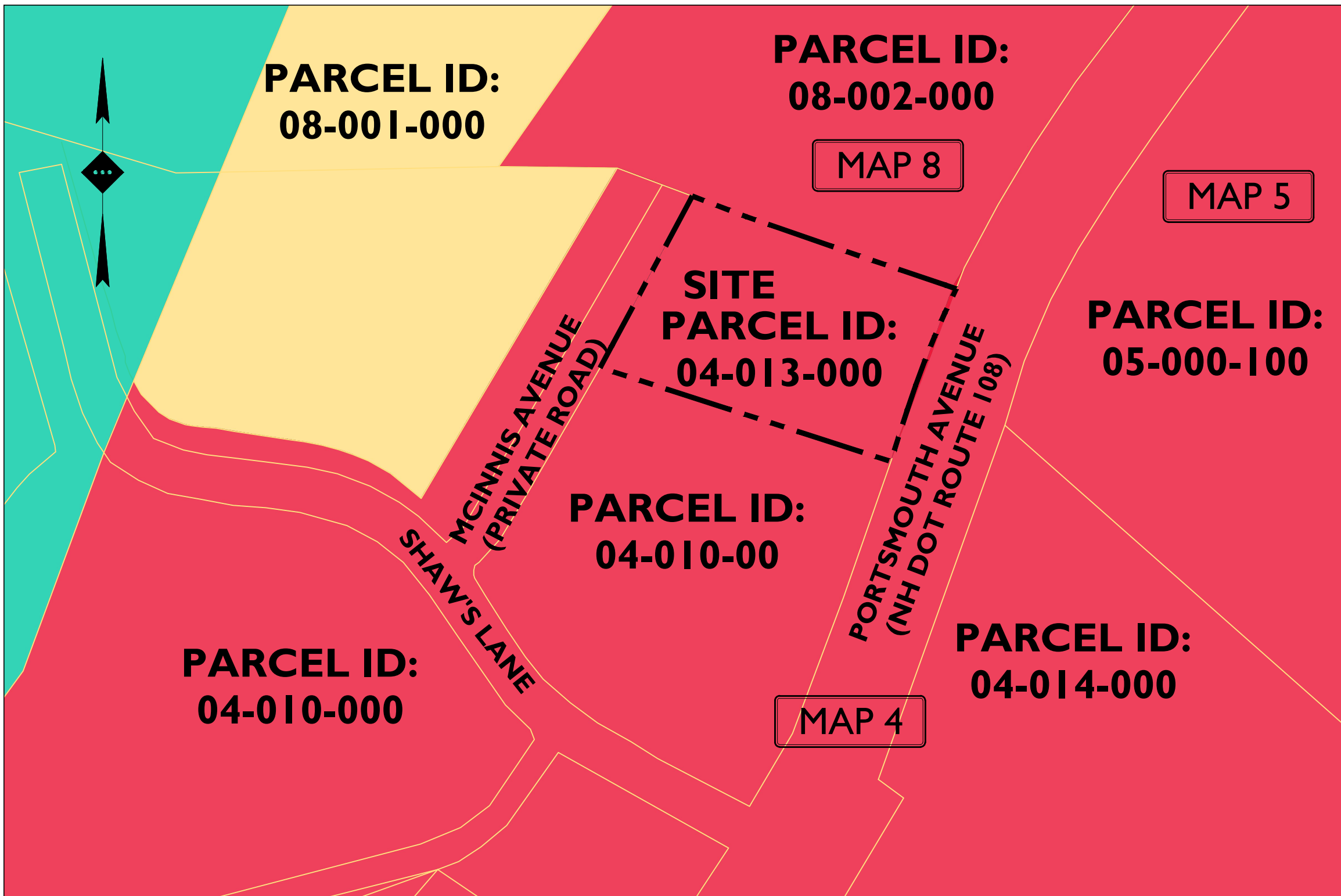
ALRIG USA ACQUISITIONS, LLC
30220 TELEGRAPH ROAD, SUITE 205
BINGHAM FARMS, MI 48025
BRANDON@ALRIGUSA.COM
248-798-0600

OWNER

ZJBV PROPERTIES, LLC
300 GAY STREET
MANCHESTER, NH 03103

ZONING LEGEND

- GATEWAY COMMERCIAL BUS. DISTRICT- OPEN SPACE ZONE
- GATEWAY COMMERCIAL BUS. DISTRICT- CENTRAL ZONE
- COMMERCIAL/LIGHT INDUSTRIAL



SOURCE: SOURCE: TOWN OF STRATHAM TAX MAP 41 DATED APRIL, 2021 & TOWN OF STRATHAM ZONING MAP DATED MARCH, 2013

TAX & ZONING MAP

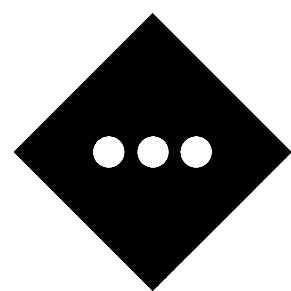
SCALE: 1" = 120'±

TOWN OF STRATHAM ABUTTER LIST				
SHEET	PARCEL ID	CAMA ID	OWNER	OWNER'S ADDRESS
I	04-010-000	04-010-000	LLC C/O SHAW'S #7621	PARADIGM TAX GROUP P.O. BOX 8000729 DALLAS, TX 75380
I	04-010-000	04-010-001	CAMBRIDGE TRUST COMPANY	78 BLANCHARD ROAD 5TH FLOOR BURLINGTON, MA 01803
I	04-010-000	04-010-002	110 GRILL STRATHAM, LLC	4 LAN DRIVE WESTFORD, MA 01886
I	04-014-000	04-014-000	NP STRATHAM LLC C/O NORTHSTAR CENTER LLC	208 E 51ST ST PMB 114 NEW YORK, NY 10022
I	05-001-000	05-001-000	OS OF STRATHAM, LLC	375 COMMERCE PARK ROAD NORTH KINGSTON, RI 02852
I	05-001-000	05-001-001	BURGER KING MASTORAN RESTAURANTS INC	822 LEXINGTON STREET 2ND FLOOR WALTHAM, MA 02452
I	05-001-000	05-001-002	TD BANK LEASE & TAX ADMIN DEPT.	380 WELLINGTON STREET TOWER B 10TH FLOOR LONDON, ON NGA
I	08-001-000	08-001-000	THE SOCIETY FOR THE PROTECTION OF NEW HAMPSHIRE FORESTS	54 PORTSMOUTH STREET CONCORD, NH 03301
I	08-002-000	08-002-000	VALLEY MB LLC	875 EAST STREET TEWKSBURY, MA 08126



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PLAN REFERENCE MATERIALS:

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - AERIAL MAP OBTAINED FROM GOOGLE EARTH PRO DATED 10/28/2021
 - ALTA/NSPS SURVEY PREPARED BY ALRIG USA DATED 10/18/2021
 - TAX MAP OBTAINED FROM TOWN OF STRATHAM TAX MAP 41 DATED APRIL, 2021
 - ZONING MAP OBTAINED FROM TOWN OF STRATHAM ZONING MAP DATED MARCH, 2013
 - UNITED STATES GEOLOGICAL SURVEY QUADRANGLE MAPS, 7.5 SERIES, TALLMADGE, OH, DATED AUGUST, 2021
 - GEOTECHNICAL REPORT PREPARED BY GEOTECHNICAL SERVICES INC. DATED 12/06/2021
 - ARCHITECTURAL RENDERINGS PREPARED BY OPTIMA DATED 12/10/2021
 - SIGNAGE PACKAGE PREPARED BY ARCHETYPE DATED 12/14/2021
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX

DRAWING TITLE	SHEET #
COVER SHEET	C-1
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SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
STORMWATER MANAGEMENT PLAN	C-6
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SOIL EROSION & SEDIMENT CONTROL PLAN	C-9
LANDSCAPING PLAN	C-10 - C-11
CONSTRUCTION DETAILS	C-12 - C-14

ADDITIONAL SHEETS

DRAWING TITLE	SHEET #
ALTA / NSPS LAND TITLE SURVEY	I OF I

FINAL SITE PLAN

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 04-013-00
23 PORTSMOUTH AVENUE
TOWN OF STRATHAM
ROCKINGHAM COUNTY, NEW HAMPSHIRE

JAKE MODESTOW, P.E.
NEW HAMPSHIRE LICENSE No. 16233
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-210036

TITLE:

COVER SHEET

DRAWING:

C-1

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DESCRIPTION

BY

DATE

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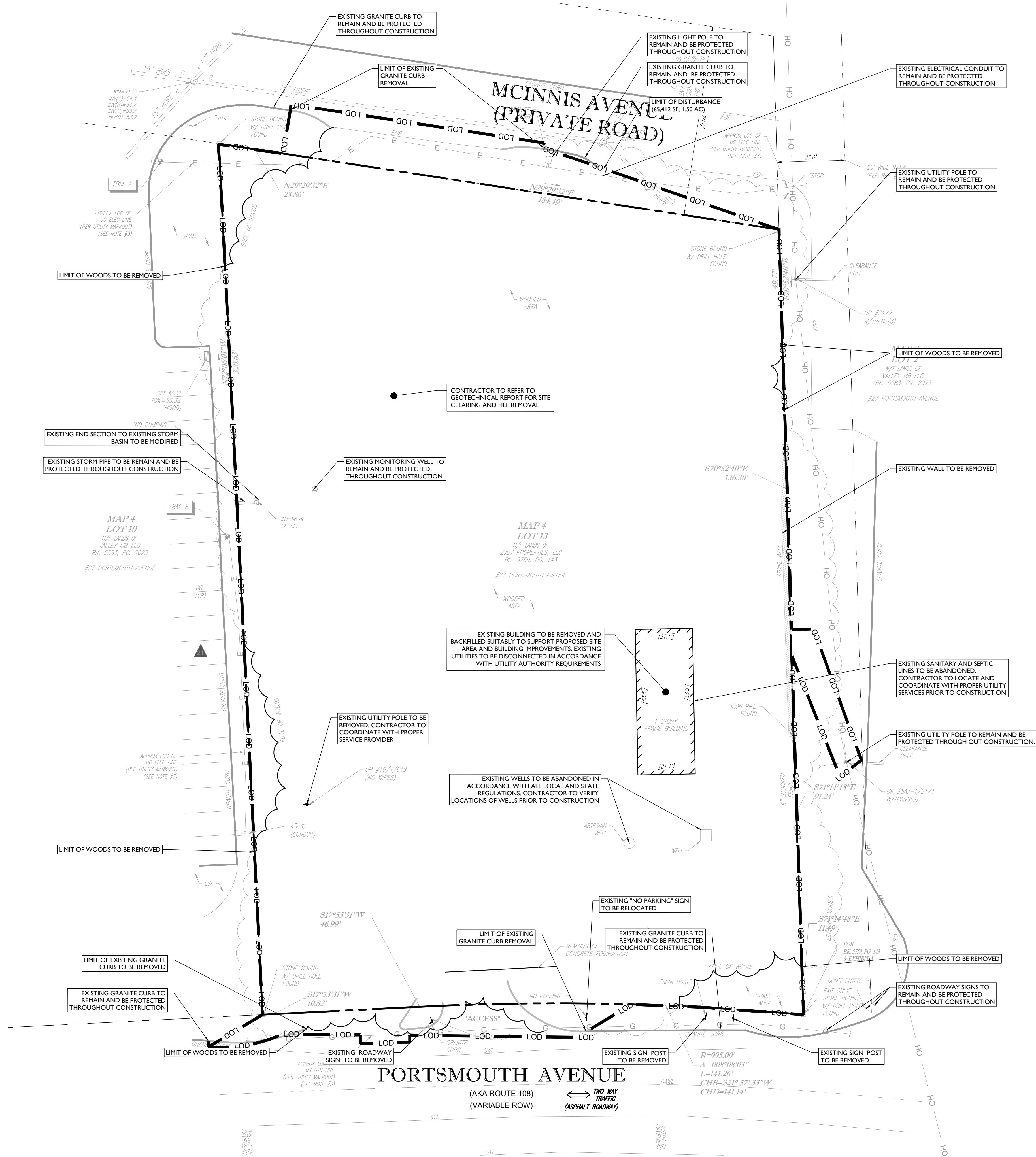
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SYMBOL	DESCRIPTION
---	FEATURE TO BE REMOVED / DEMOLISHED
---	LIMIT OF DISTURBANCE

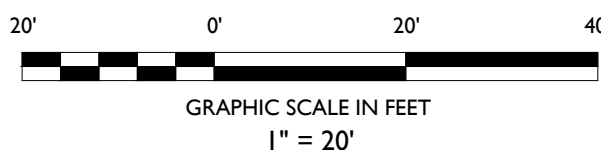
ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



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DEMOLITION NOTES

1. THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION TOWARDS THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS/REFERENCE DOCUMENTS INCLUDING ALL DEMOLITION ACTIVITIES AND INCIDENTAL TASKS NECESSARY TO COMPLETE THE SITE IMPROVEMENTS.
2. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF DEMOLITION ACTIVITIES.
3. EXPLOSIVES SHALL NOT BE USED UNLESS WRITTEN CONSENT FROM BOTH THE OWNER AND ANY APPLICABLE GOVERNING AGENCY IS OBTAINED. BEFORE THE START OF ANY EXPLOSIVE PROGRAM, THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL LOCAL, STATE, AND FEDERAL PERMITS. ADDITIONALLY, THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL SEISMIC TESTING AS REQUIRED AND ANY DAMAGES AS THE RESULT OF SAID DEMOLITION PRACTICES.
4. ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE. ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.
5. DEMOLISHED DEBRIS SHALL NOT BE BURIED ON SITE. ALL WASTE/DEBRIS GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL RECORDS OF THE DISPOSAL TO DEMONSTRATE COMPLIANCE WITH THE ABOVE REGULATIONS.



DATE	BY	DESCRIPTION
01/06/2023	JA	FOR MUNICIPAL & DOT SUBMISSIONS
12/15/2021	JR	FOR MUNICIPAL SUBMISSION
12/14/2021	JR	FOR DOT SUBMISSION
11/03/2021	DO	FOR PLANNING BOARD PRELIMINARY CONSULTATION

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FINAL SITE PLAN

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 04-010-000
23 PORTSMOUTH AVENUE
TOWN OF STRATHAM
ROCKINGHAM COUNTY, NEW HAMPSHIRE

JAKE MODESTOW, P.E.
NEW HAMPSHIRE LICENSE No. 16233
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 20' PROJECT ID: BOS-210036

TITLE:

DEMOLITION PLAN


DRAWING:








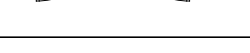




C-3



(V) VARIANCE

(V) VARIANCE

- 20' 0' 20'
- 
- GRAPHIC SCALE IN FEET
1" = 20'

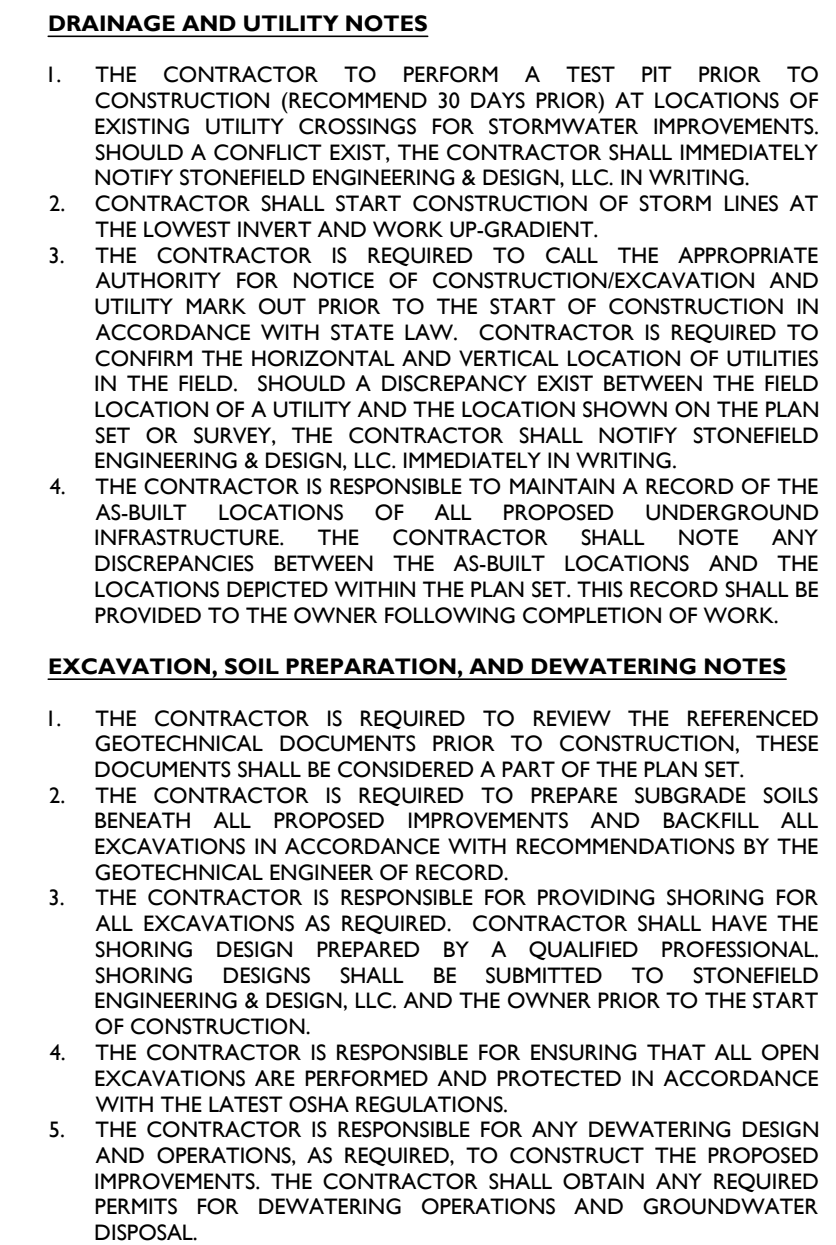
	PROPERTY LINE
	SETBACK LINE
	SAWCUT LINE
	PROPOSED CURB
	PROPOSED FLUSH CURB
	PROPOSED SIGNS / BOLLARDS
	PROPOSED BUILDING
	PROPOSED CONCRETE
	PROPOSED AREA LIGHT
	PROPOSED BUILDING DOORS
	PROPOSED MOUNTABLE CURB
	PROPOSED RETAINING WALL

C-4

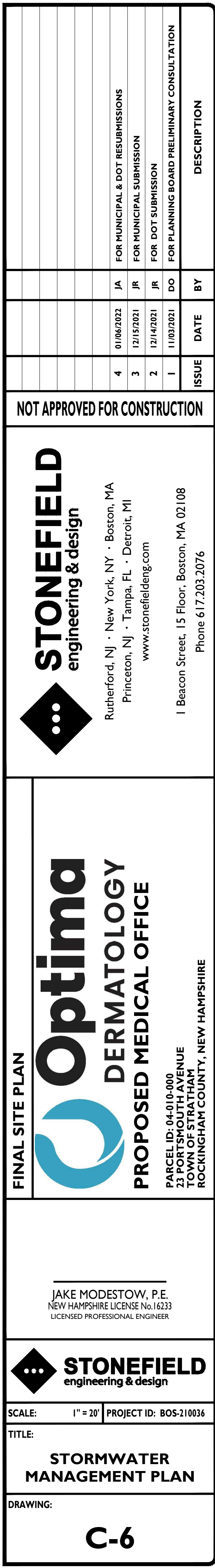
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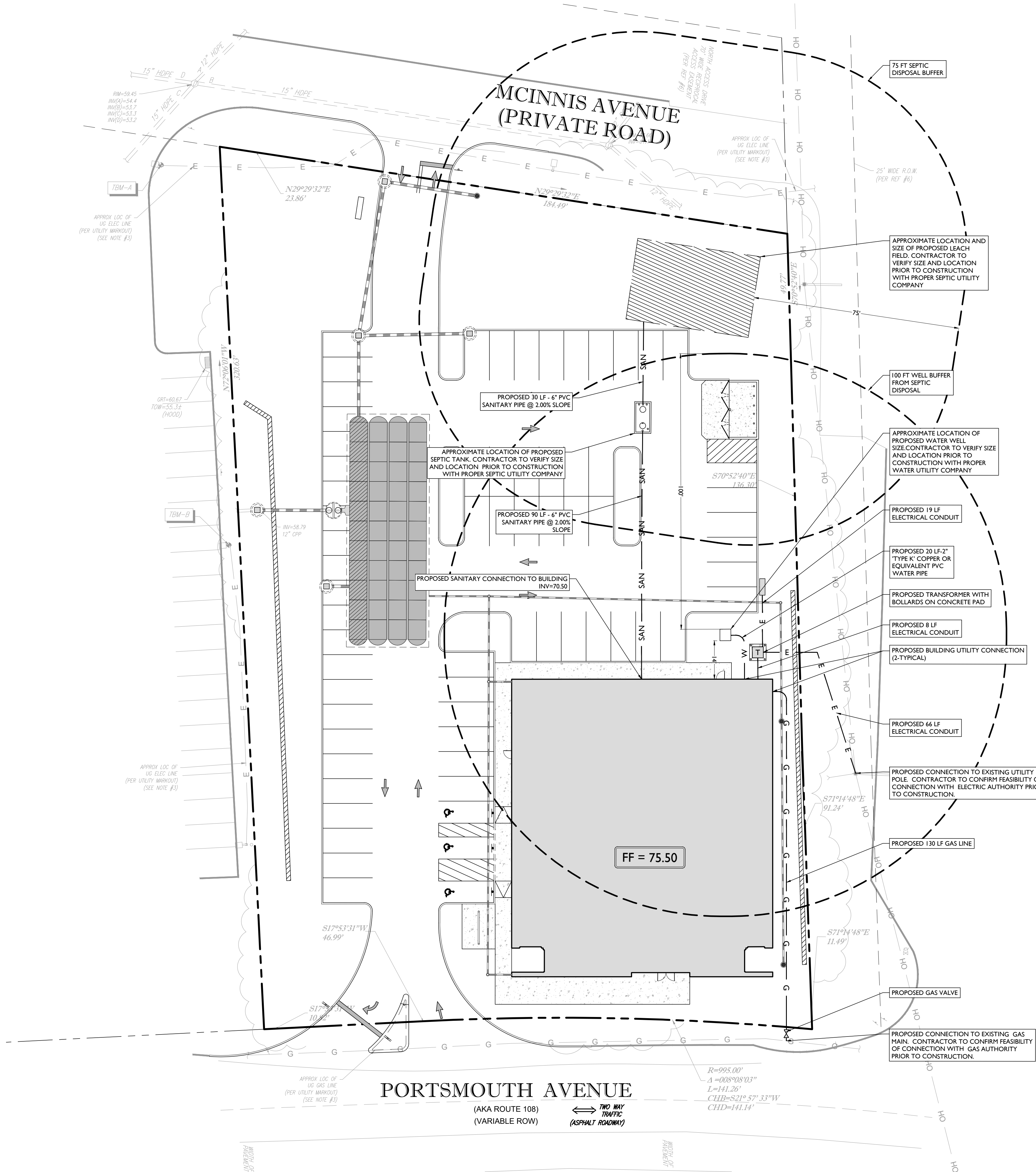
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- STORMWATER INFILTRATION BMP CONSTRUCTION NOTES**
1. PRIOR TO THE START OF CONSTRUCTION, ANY AREA DESIGNATED FOR AN INfiltration BMP (CONSTRUCTION ERECTION, STORAGE AREA, ETC.) SHALL BE FENCED OFF AND SHALL NOT BE UTILIZED AS STORAGE FOR CONSTRUCTION EQUIPMENT OR AS A STOCKPILE AREA FOR CONSTRUCTION MATERIALS. NO ACTIVITY SHALL BE PERMITTED WITHIN THE FENCED OFF AREA UNTIL THE CONTRACTOR TO THE CONSTRUCTION OF THE INFILTRATION BASIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY ANY ADJACENT PROPERTY OWNERS OF THE FENCING OFF OF THE AREA.
 2. THE CONTRACTOR SHALL MAKE EVERY EFFORT, WHERE PRACTICAL, TO AVOID SUBGRADE SOIL COMPACTION IN THE AREAS DESIGNATED TO BE USED FOR AN INFILTRATION BMP.
 3. THE INFILTRATION BASIN SHALL BE CONSTRUCTED WITH AN INFILTRATION BMP SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EXCAVATION EQUIPMENT. ALL EXCAVATION EQUIPMENT SHALL BE PLACED OUTSIDE THE LIMITS OF THE BASIN WHERE FEASIBLE. THE USE OF BACKHOES, EXCAVATORS, RUBBER TIRE TRUCKS (LESS THAN 8 ft) APPLIED TO THE GROUND SURFACE IS RECOMMENDED WITHIN THE BASIN LIMITS.
 4. THE SEQUENCE OF SITE CONSTRUCTION SHALL BE COORDINATED WITH FINAL CONSTRUCTION TO ADHERE TO SEQUENCING LIMITATIONS.
 5. DURING THE FINAL GRADING OF AN INFILTRATION BASIN, THE BOTTOM OF THE BASIN SHALL BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW AND THEN SMOOTHED OUT WITH A LEVELING DRAW OR EQUIVALENT GRADING EQUIPMENT. ALL GRADING EQUIPMENT SHALL BE LOCATED OUTSIDE OF THE BASIN BOTTOM WHERE FEASIBLE.
 6. FOLLOWING CONSTRUCTION OF AN INFILTRATION BASIN, SOIL INFILTRATION TESTING BY A LICENSED GEOTECHNICAL ENGINEER IS REQUIRED TO COMPLY WITH THE DESIGN INFILTRATION RATES IN ACCORDANCE WITH APPENDIX E OF THE NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTIONS' BEST MANAGEMENT PRACTICES FOR THE LATEST EDITION OF THE INFILTRATION RATES ARE LOWER THAN THE RATE USED DURING DESIGN, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING IMMEDIATELY TO DISCUSS THE APPROPRIATE CORRECTIONS.
 7. THE CONTRACTOR SHALL NOTIFY THE MUNICIPALITY TO DETERMINE IF WETNESS TESTING IS REQUIRED DURING INFILTRATION BASIN EXCAVATION AND/OR SOIL INFILTRATION TESTING.
- STORMWATER UNDERGROUND BMP CONSTRUCTION NOTES**
1. THE CONTRACTOR SHALL INSTALL AND BACKFILL THE UNDERGROUND BMP IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
 2. UNDERGROUND BASINS SHALL UTILIZE A STONE BACKFILL WITH A MINIMUM SAND RATIO OF 40%.
 3. NO CONSTRUCTION LOADING OVER UNDERGROUND BASINS IS PERMITTED UNTIL BACKFILL IS COMPLETE PER THE MANUFACTURERS SPECIFICATIONS. NO CONSTRUCTION EQUIPMENT SHALL BE STAGED OR OPERATE FROM A FIXED POSITION OVER THE BASIN.



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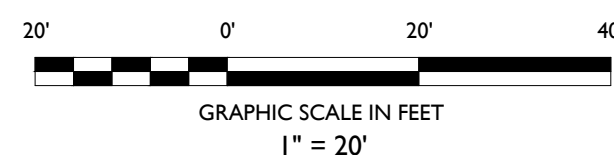


SYMBOL	DESCRIPTION
---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
X	PROPOSED VALVE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS
- - -	PROPOSED SANITARY/WELL BUFFER

ANY UTILITY WORK WITHIN PORTSMOUTH AVENUE RIGHT-OF-WAY SHALL REQUIRE A SEPARATE NHDOT EXCAVATION PERMIT

DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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FINAL SITE PLAN

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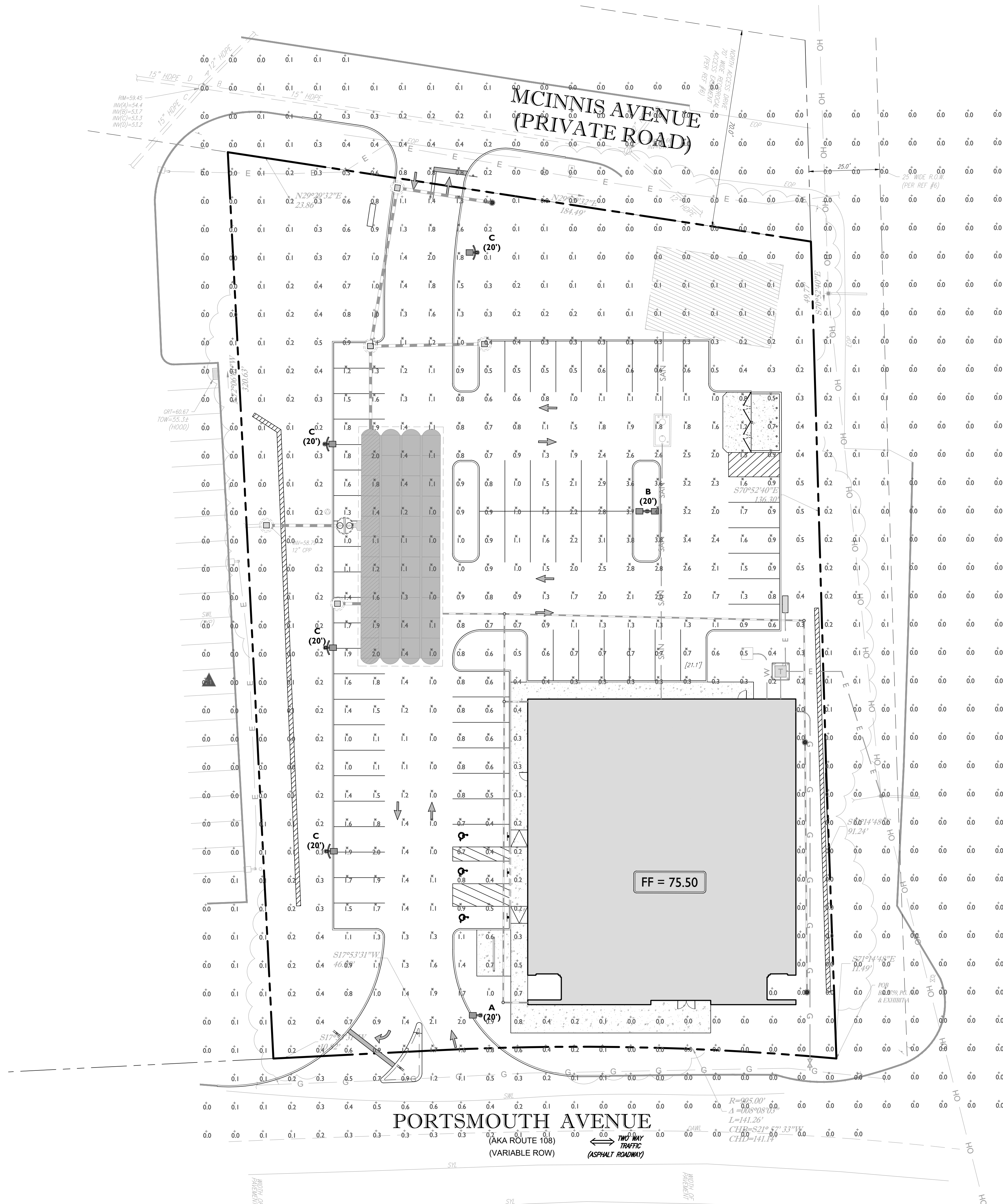
JAKE MODESTOW, P.E.
NEW HAMPSHIRE LICENSE NO. 16233
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 20' PROJECT ID: BOS-210036






TITLE: UTILITY PLAN




DRAWING: C-7



LIGHTING STATISTICS					
DESCRIPTION	AVERAGE	MINIMUM	MAXIMUM	MAX/MIN	AVG/MIN
PARKING LOT	1.3 FC	0.3 FC	4.1 FC	13.7:1	4.3:1
OFF-SITE	0.4 FC	0.00 FC	0.8 FC	N/A	N/A



SYMBOL	DESCRIPTION
	PROPOSED CALCULATION AREA
	PROPOSED ISOMETRIC LINE
	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT

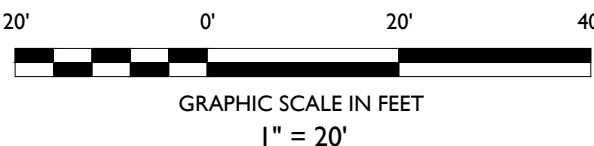
PROPOSED LUMINAIRE SCHEDULE							
SYMBOL	LABEL	QUANTITY	DESCRIPTION	DISTRIBUTION	LLF	MANUFACTURER	IES FILE
	A	1	LUMENBLADE MEDIUM BLDM TYPE IV	TYPE IV	0.9	LUMENPULSE	BOLDM-SD-120/277-CSL-M80-40K-CRI 80-4.IES
	B	1	LUMENBLADE MEDIUM BLDM TYPE V SQUARE	TYPE V S	0.9	LUMENPULSE	BOLDM-SD-120/277-CSL-M100-40K-CRI 80-5S.IES
	C	4	LUMENBLADE MEDIUM BLDM TYPE IV BACKLIGHT SHIELD	TYPE IV BLS	0.9	LUMENPULSE	BOLDM-SD-120/277-CSL-M100-40K-CRI 80-4 BLS.IES

LIGHTING REQUIREMENTS					
CODE SECTION	REQUIRED	PROPOSED	COMPLIES	COMPLES	COMPLES
§ 3.87 F (i)	STREET/THOROUGHFARE, BUILDING AND SITE LIGHTING SHALL NOT ADVERSELY IMPACT SURROUNDING USES. SUCH LIGHTING SHALL NOT BLINK/FASH/OSCILLATE OR BE OF UNUSUALLY HIGH INTENSITY OF BRIGHTNESS. EXCEPT FOR PURPOSES OF PROVIDING EMERGENCY SERVICES OR TO PROTECT PUBLIC SAFETY.			COMPLIES	
§ 3.87 F (ii)	ENERGY EFFICIENT EXTERIOR LIGHTING AND STREETLIGHTS SHALL BE PROVIDED			COMPLIES	
§ 3.87 F (iii)	LIGHTING OF THE SITE SHALL BE ADEQUATE AT GROUND LEVEL FOR THE PROTECTION AND SAFETY OF THE PUBLIC IN REGARD TO PEDESTRIAN ACCESS AND VEHICULAR CIRCULATION			COMPLIES	
§ 3.88 b (TABLE 4) DESIGN STANDARDS AND ROADWAYS	LIGHTING: 1 PER 33 LINEAR FEET OF RIGHT-OF WAY ALONG PORTSMOUTH AVENUE. THE SPACING SHALL BE AN AVERAGE OF 60 FT (199 LF / 25 LP) = 8 LIGHT FIXTURES			O PROPOSED (V)	
§ V.5.B ILLUMINATION/ NOISE EMISSIONS	OUTDOOR LIGHTING: ALL LIGHTING CAST WILL BE CONFINED TO WITHIN PROPERTY LINES AND WILL NOT ILLUMINATE ADJACENT PROPERTIES. SECURITY LIGHTING: ALL SECURITY LIGHTING SHALL BE LOCATED ON LIGHT STANDARDS NOT EXCEEDING 25 FT IN HEIGHT, DIRECTED DOWNWARD. LIGHT STANDARDS USED TO ILLUMINATE THE EXTERIOR OF THE BUILDING MAY NOT EXCEED 4 FT IN HEIGHT			COMPLIES	20 FT
§ V.5.B GENERAL LIGHTING REQUIREMENTS	ILLUMINATION LEVELS: ILLUMINATION LEVELS AT PROPERTY BOUNDARIES WILL NOT EXCEED 0.3 FC SHIELDING: ALL LIGHTING IS REQUIRED TO BE FULLY SHIELDED			0.8 FC (V) DOES NOT COMPLY (V)	
§ V.5.C CONTROL OF GLARE LUMINAIRE DESIGN FACTORS	LUMINAIRE REQUIREMENTS: ANY LUMINAIRE WITH LAMPS RATED AT A TOTAL OF MORE THAN 1800 LUMENS AND ALL FLOOD OR SPOT LUMINAIRES WITH LAMPS RATED AT A TOTAL OF MORE THAN 900 LUMENS SHALL NOT EMIT ANY DIRECT LIGHT ABOVE A HORIZONTAL PLANE THROUGH THE LOWEST DIRECT-LIGHT EMITTING PART. ANY LUMINAIRE WITH LAMPS STATED ABOVE SHALL BE MOUNTED AT A HEIGHT EQUAL TO OR LESS THAN THE VALUE $3 \times (\text{D}/3)$, WHERE D IS THE DISTANCE IN FEET TO THE NEAREST PROPERTY BOUNDARY. MAXIMUM HEIGHT SHALL NOT EXCEED 25 FT			COMPLIES	($2(12\text{ FT} / 3)/3 = 7\text{ FT} < 25\text{ FT}$) DOES NOT COMPLY (V)
					MAXIMUM HEIGHT= 20 FT

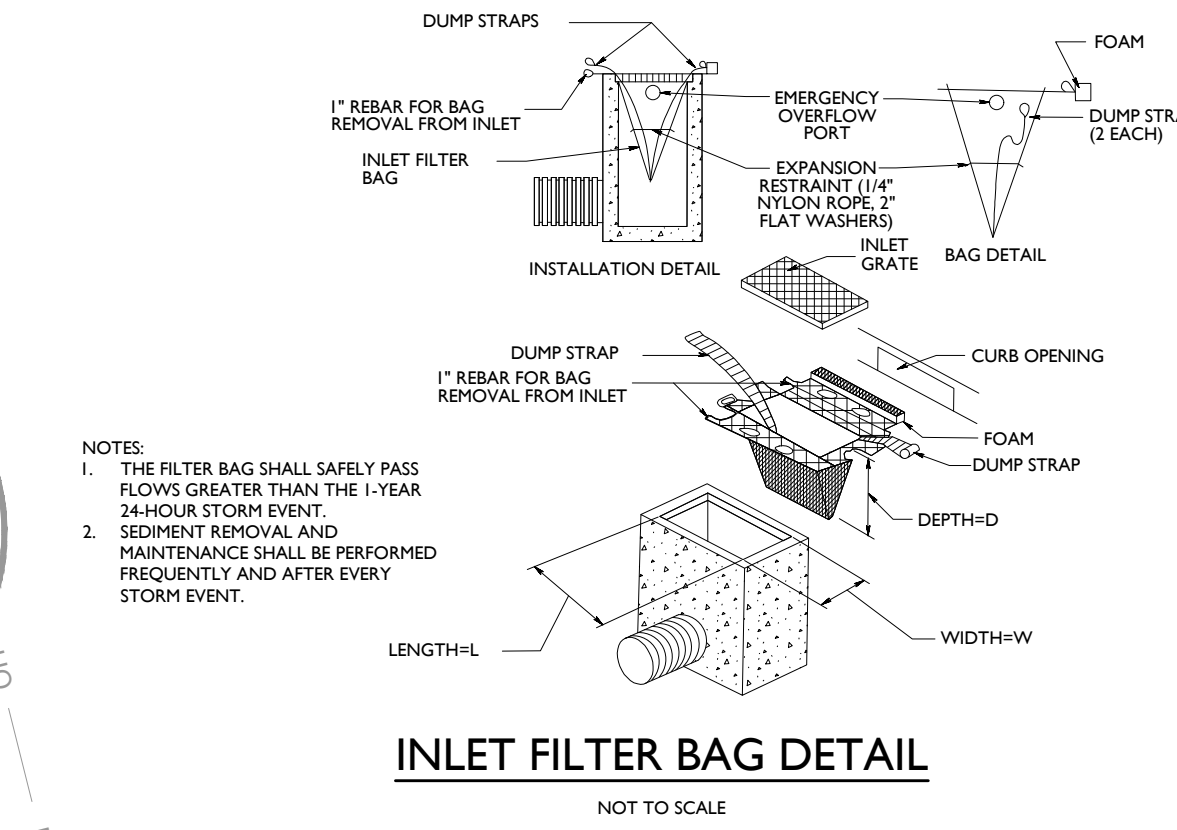
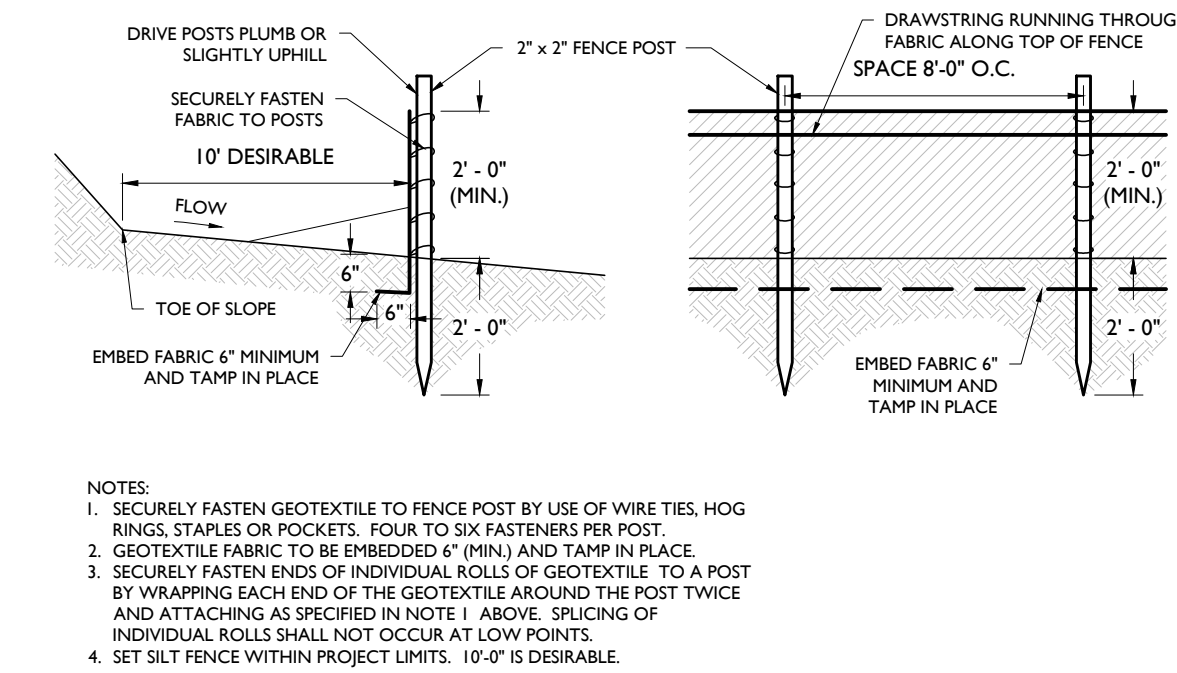
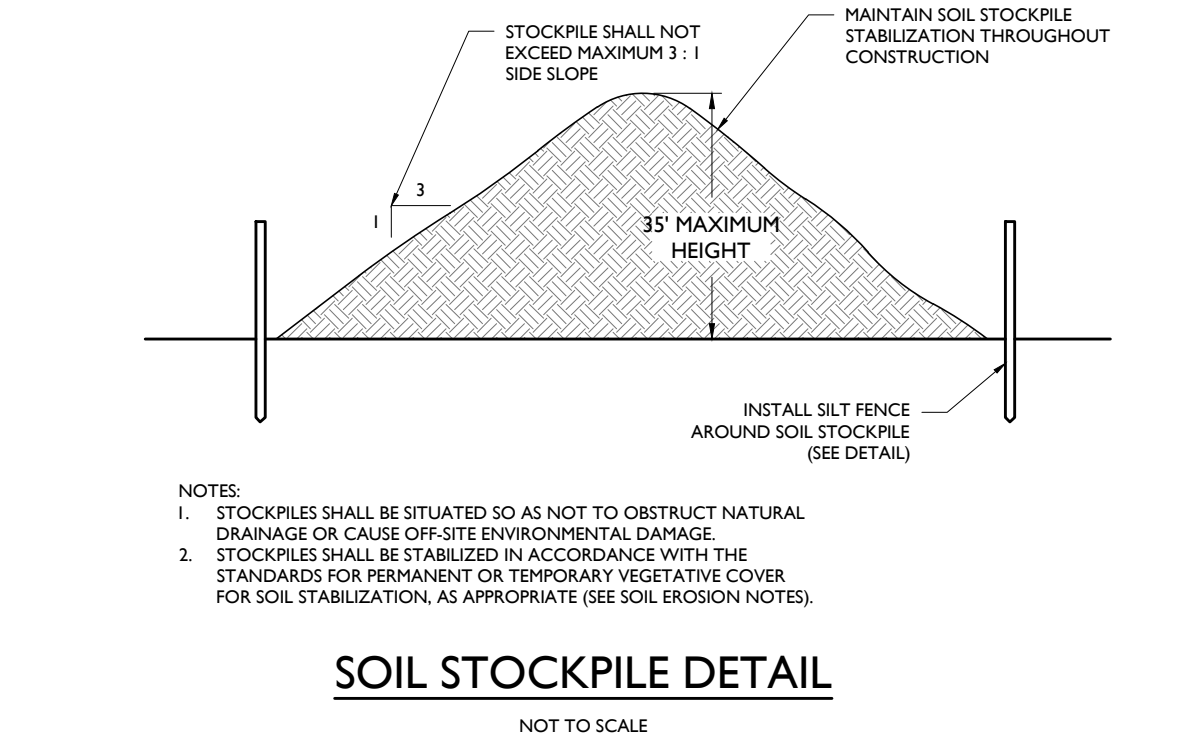
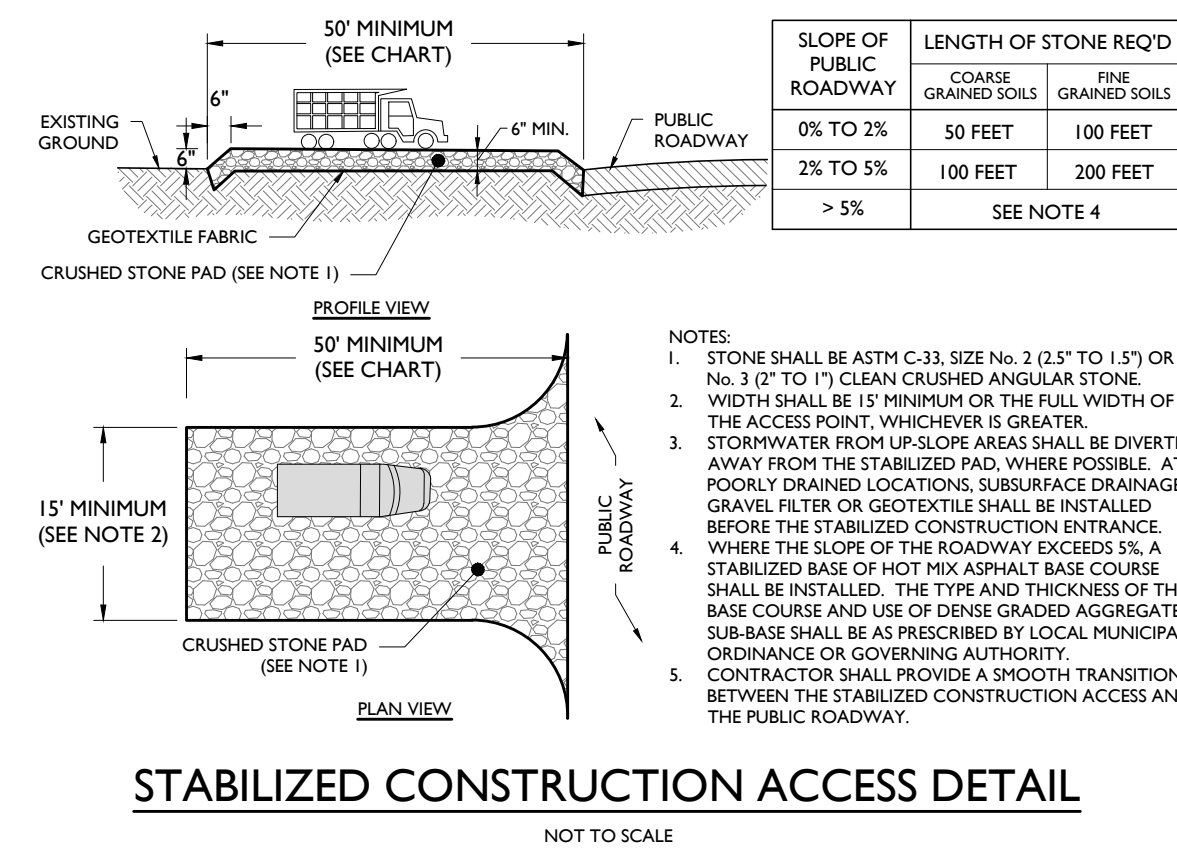
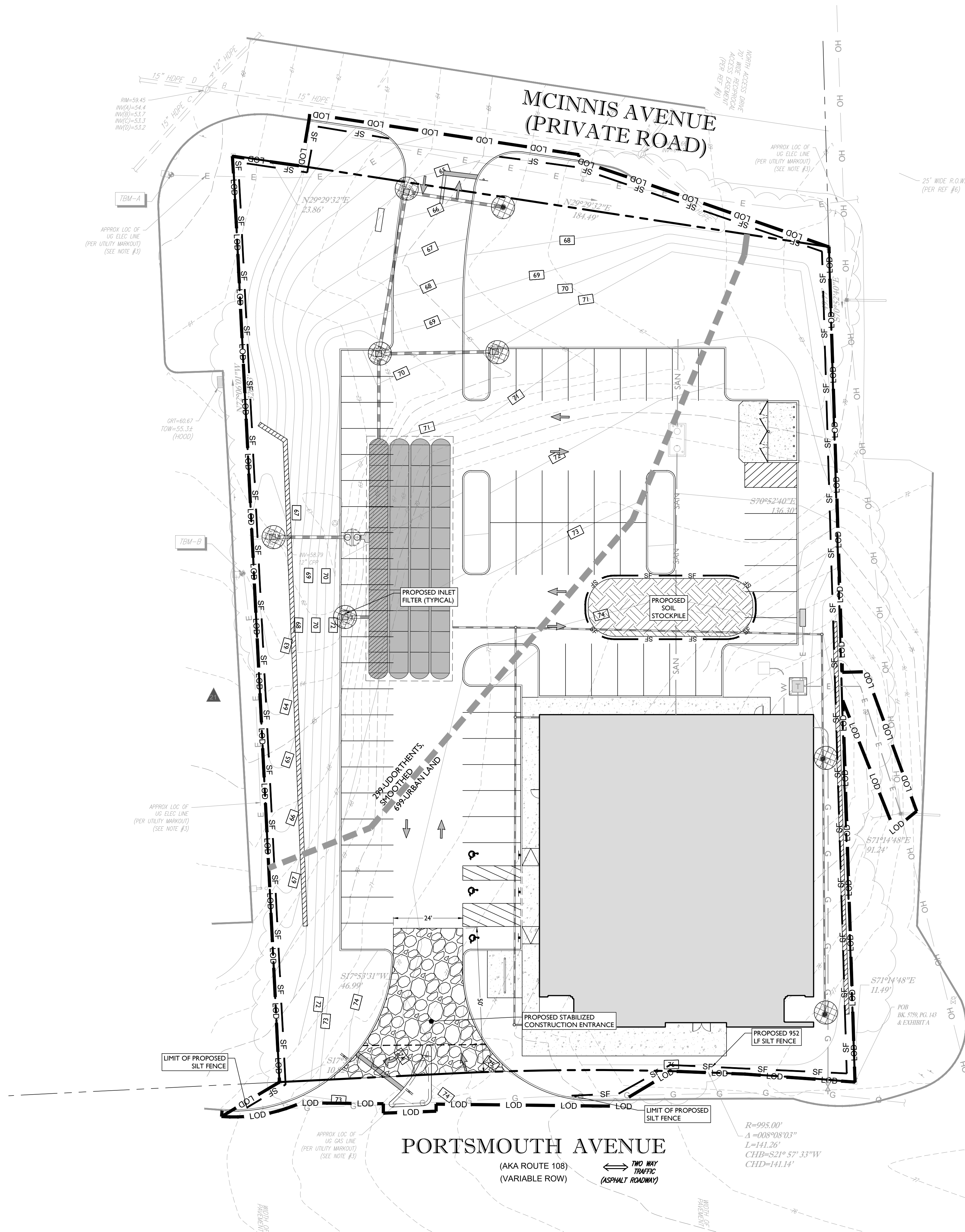
(V) VARIANCE

GENERAL LIGHTING NOTES

1. THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE MAY VARY DUE TO UNCONTROLLED VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARYING LIGHTING CONDITIONS.
2. WHERE THE EXISTING LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING MODE.
3. UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMISSION DIES (LED): 0.90
 - HIGH PRESSURE SODIUM: 0.72
 - METAL HALIDE: 0.72
4. THE CONTRACTOR SHALL NOTIFY STONEFELD ENGINEERING & DESIGN, LLC IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY CHANGES TO THE EXISTING LIGHTING OR TO ANY EXISTING PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WRITING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFELD ENGINEERING & DESIGN, LLC.



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FINAL SITE PLAN		Lighting Plan DRAWING:		C-8		LIGHTING PLAN	
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FINAL SITE PLAN		Lighting Plan DRAWING:		C-8		LIGHTING PLAN	

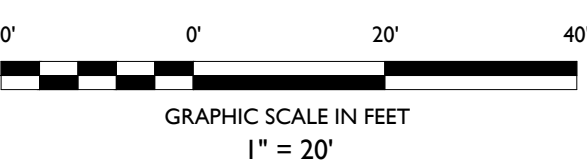







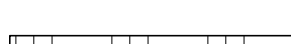
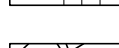
SOIL EROSION & SEDIMENTATION INSPECTION SCHEDULE				
TASK	SILT FENCE	CATCH BASIN INLET FILTER	CONSTRUCTION ENTRANCE	SCHEDULE
INSPECT FOR FAILURE OR REQUIRED MAINTENANCE	X			EVERY 7 DAYS*
REMOVAL OF SEDIMENT ACCUMULATION	X	X	X	EVERY 7 DAYS
INSPECTION FOLLOWING 24-HOUR STORM THAT DROPS 0.5 IN OF RAIN		X	X	IMMEDIATELY THEREAFTER
SWEEPING			X	AS NEEDED

(*) WHEN A PRACTICE IS IN NEED OF REPAIR IT MUST BE COMPLETED WITHIN 3 DAYS OF RECOGNITION.

SOIL CHARACTERISTICS CHART		
TYPE OF SOIL	UDORTHERTS, SMOOTHED (299)	URBAN LAND (699)
PERCENT OF SITE COVERAGE	44.10%	55.90%
HYDROLOGIC SOIL GROUP	N/A	N/A
DEPTH TO RESTRICTIVE LAYER	> 80 INCHES	N/A
SOIL PERMEABILITY	N/A	N/A
DEPTH TO WATER TABLE	> 80 INCHES	N/A

SOIL EROSION AND SEDIMENT CONTROL NOTES



<u>SYMBOL</u>	<u>DESCRIPTION</u>
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
 LOD	PROPOSED LIMIT OF DISTURBANCE
 SF	PROPOSED SILT FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

[illegible]

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FINAL SITE PLAN

Optima

DERMATOLOGY

PROPOSED MEDICAL OFFICE

PARCEL ID: 04-010-0000
23 PORTSMOUTH AVENUE
TOWN OF STRATFORD
ROCKINGHAM COUNTY, NEW HAMPSHIRE

<p>JAKE MODESTOW, P.E. NEW HAMPSHIRE LICENSE NO.16233 LICENSED PROFESSIONAL ENGINEER</p>	
<p> STONEFIELD engineering & design</p>	
SCALE:	1" = 20' PROJECT ID: BOS-210036
TITLE:	
<p>SOIL EROSION & SEDIMENT CONTROL PLAN</p>	
DRAWING:	
<p>C-9</p>	

1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCULING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
 - **MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSSUM**
 - **MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDED CLAY LOAM UP TO 30% OF THE TOTAL MIX**

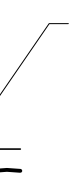


1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CROSSING THE PERIMETER OF THE CONTAINER.
2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
3. SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



NOT TO SCALE

- NOTES:
1. THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 2. SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



BACKFILL SOIL
1 PART SOIL AMENDMENT
(BASED ON SOIL TEST)
3 PARTS NATIVE TOPSOIL
UNDISTURBED SUBGRADE

1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER/OWNERS REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE SUBJECT OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
2. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFIERS.
3. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRs) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER.
4. THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. THE FENCING SHALL BE INSTALLED AT THE PERIMETER OF THE WORK AREA AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT. THE PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE, FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE MAINTAINED THROUGHOUT THE PROJECT BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

2. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL BE REQUIRED TO WEAR PROTECTIVE FOOTWEAR, SUCH AS RUBBER SOLED SHOES, SAFETY BOOTS, SAFETY SLIPPERS, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.

3. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE FOLLOWING SHALL BE REQUIRED:

- a. TRENCING - WHEN TRENCING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TURNED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
- b. GRADING - WHEN GRADING IS REQUIRED, THE GRADING SHALL BE DONE IN SUCH A MANNER THAT THE GRAD SHALL NOT EXCEED 6 INCHES (6") IS REQUIRED. CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES AND BE PLACED TO THE POINT WHERE THE GRAD MEETS THE GRAVEL. THE GRAVEL SHALL BE PLACED TO THE POINT WHERE THE GRAVEL BEGINS TO MEET THE GRAVEL BECAUSE OF ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL, WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
- c. GRADING - WHEN GRADING IS REQUIRED, THE GRADING SHALL BE DONE IN SUCH A MANNER THAT THE GRAD SHALL NOT EXCEED 6 INCHES (6") IS REQUIRED. CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES AND BE PLACED TO THE POINT WHERE THE GRAD MEETS THE GRAVEL. THE GRAVEL SHALL BE PLACED TO THE POINT WHERE THE GRAVEL BEGINS TO MEET THE GRAVEL BECAUSE OF ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL, WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."

THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST FOR THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLES TO RESULTS.
2. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIMES AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEE SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL ADJUSTMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - a. MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - b. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DIRT, SHREDED CLAY LOAM, OR COMPOST.
3. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL SOIL, OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL, MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATTER, GREATER THAN ONE INCH (1").
4. TOPSOIL SHALL BE FREE OF WEEDS, INJURIOUS INSECTS, AND SHALL HAVE A MINIMUM 6% ORGANIC MATTER BY WEIGHT.
5. ROOSTS TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
6. SOIL SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
7. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF SUBSURFACE DRAINAGE SYSTEMS IN ALL PLANTING AREAS OF THE DISTURBED AREA OF THE SITE.
8. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
9. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGES OF GRADE OR SURFACE. THE FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO PLANTING. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
11. DOUBLE SHREDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTINGS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
12. IF POSSIBLE, THE MULCHING OPERATION SHALL BE CONNECTED FROM PLANTING TO PLANTING.
13. SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
14. APPLY A PREVENTATIVE MEASURE TO CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
15. ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:

MYCORR® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGUS INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM). BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND AEROSOLIZED NUTRIENTS ARE ALSO INCLUDED.

DIRECTIONS FOR USE USE 3.0Z PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3.0Z PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE ROOT BALL. FILL THE RING WITH SOIL. FOR TREES, THE RING SHOULD BE 12" IN DIAMETER. FOR SHRUBS, THE RING SHOULD EXTEND OUT FROM THE ROOT BALL ABOUT 8" INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.

MYCORR® TREE SAVERS IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.

SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.

FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SUCH APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.

WATER: FERTILIZERS, PESTICIDES, AND FUNGICIDES SHOULD NOT BE APPLIED TO THE MYCORRHIZAL FUNGUS UNTIL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- TABLETS ARE FORMULATED FOR LONG-TERM RELEASE BY SLOW BIODEGRADATION, AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PROTEIN BYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLOE & BURLAPPED (BBB) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK, AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z660-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- IN ALL CASES, SPECIMENS LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER ANY COMMON NAMES.
- ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN GROWTH AS TO BE ABLE TO STAND UPSTANDING WITHOUT BRACES, STAKES, PROPAGATORS, COMPACTORS AND SYMMETRICAL PRUNING.
- ALL PLANTS SHALL HAVE A NORMAL HOBAL OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
- PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUPS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT BEEN COMPLETELY CALLOUSED SHALL BE REJECTED.
- ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY IDENTIFIABLE.
- THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
- ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) SHALL BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH. THE TOP OF EACH BALL OF EARTH MUST BE COVERED WITH TWINE OR BURLAP THAT IS SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN INTO PIECES OR CRUMBED AWAY FROM THE PLANT. PLANTS WITH CRACKED OR CRUMBED BALLS OF EARTH ARE PROHIBITED. PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEEL-ED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.
- PLANTS WILL BE LOADED AND UNLOADED USING APPROPRIATE EQUIPMENT. PLANTS MAY BE COVERED FOR EXTRA PROTECTION, SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY OF PLANTS WILL BE CAUSE FOR REJECTION OF THE ENTIRE LOT.
- PLANT MATERIAL - ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
- PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING

- LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORTS TO INSTALL PLANTS ON THE DATE SPECIFIED IN THE SCHEDULE. PLANTS SHALL BE PLANTED IMMEDIATELY UPON RECEIPT OF THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOIST AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNITED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING AND LEAF LOSS. PLANTS THAT REMAIN UNUNITED FOR A PERIOD OF TWO (2) GREATER THAN THREE (3) DAYS SHALL BE HEADED OFF WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
1. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL.
2. PLANTS WITH INJURED ROOTS OR ROOT SYSTEMS SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLANE, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REPLANTED.
3. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING SITE OR PERMIT PLANT MATERIAL FROM THE CONTRACT.
4. IF PLANTS ARE PROPOSED WITH A HEIGHT TRIANGLE PLANTS SHALL BE LIMITED TO A HEIGHT OF EIGHT FEET. PLANTS ABOVE AND SHRUBS: GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
5. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
- PLANTS (MARCH 15 - DECEMBER 15)
- LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
6. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
- ABIES CONCOLOR
ACER BURNINGIANUM
ACER FREEMANII
ACER RUBRUM
ACER SACCHARINUM
BETULA VULGARIS
CARPINUS VARIETES
CERUS DEODORA
CILIARIETES
CERCIDIPHYLLUM VARIETES
CERCIS CANADENSIS
CORNUS VARIETES
CRATAEGUS VARIETES
CORNUS VARIETES
CRATAEGUS VARIETES
OSTRYA VIRGINIANA
PINUS NIGRA
PLATANUS VARIETES
POPULUS VARIETES
PRUNUS VARIETES
PYRUS VARIETES
QUERCUS VARIETES (NOT Q. PALUSTRIS)
LILX VARIETES VARIETES
SORBUS VARIETES
TAXODIUM VARIETES
TAXUS X REPANDENS
TAXUS VARIETES
ULMUS PARVIFOLIA VARIETES
ZELKOVA VARIETES
7. IF A PROPOSED PLANT IS UNOBTAINABLE OR ON THE FALL DIPPING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE SHALL BE REQUIRED. THE SUBSTITUTION OF THE ORIGINAL PLANT SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
8. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY DISPOSED AT THE END OF EACH WORK DAY.
9. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.

2. REQUIRE WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

3. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3") MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DISTURBANCE OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.

4. GRASS AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL BE RESPONSIBLE FOR RESTORING THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.

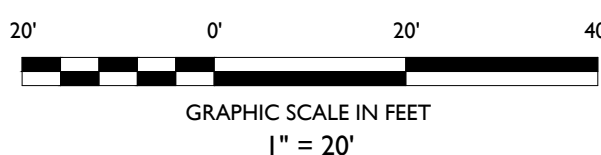
5. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE AGREEMENT SHALL BE ENTERED INTO BY THE OWNER AND THE CONTRACTOR.

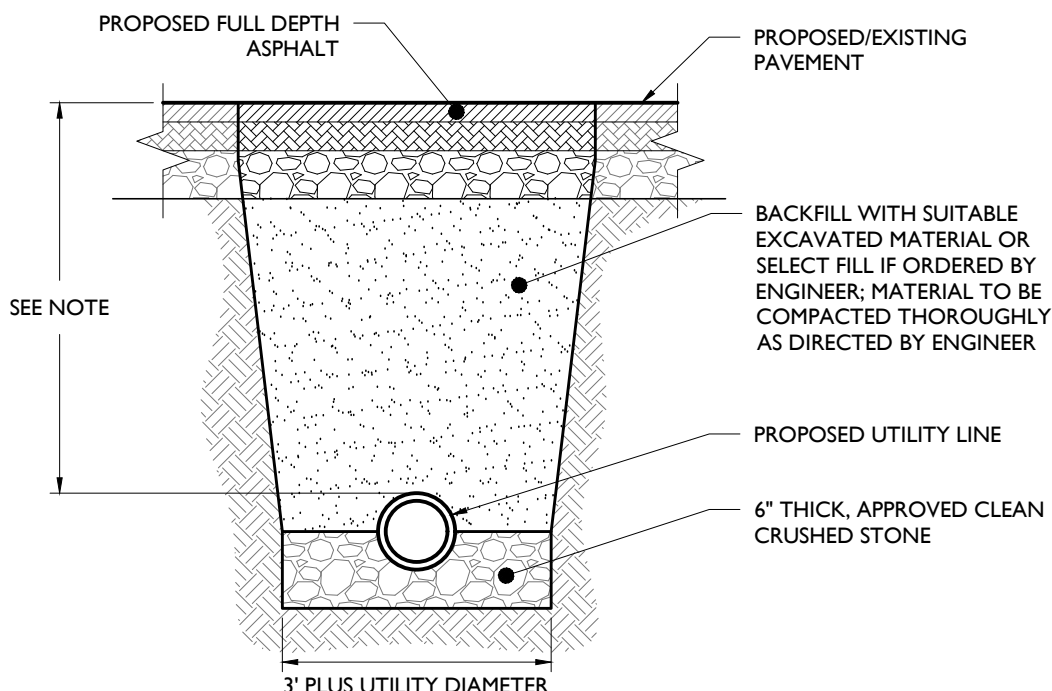
6. LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.

7. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT (8) INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT A SURFACE OF THE SOIL FROM CRACKING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A CAT LICENSE FOR WATERING PLANTS. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
2. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE.
3. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
4. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART OF THE LAND, PUBLIC DAMAGE, DAMAGE TO VEHICLES, EARTH AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AGENCIES, SHALL BE PROVIDED AND PAID FOR BY THE CONTRACTOR.
5. THE LANDSCAPE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

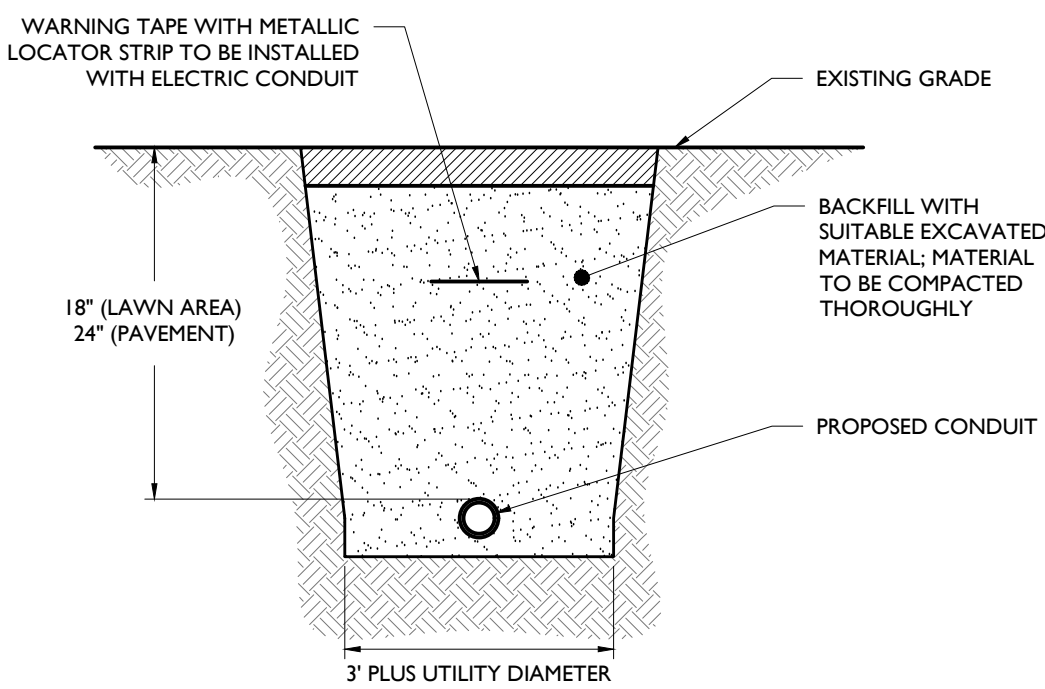
1. SEED MIXTURE SHALL BE FRESH LIVING, NEW CROP SEED. SOO SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS.
2. SEED OR SOO SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSED OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOO SPECIFICATION".
3. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEED OR LAID WITH SOO.
4. SEEDING SHALL NOT BE PERFORMED IN WIND WEATHER. IF THE LAYDOWN OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION".
5. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH AND INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, COLLAPSE, EMBANKMENT CAUSAL SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, BARRIERS OR OTHER TEMPORARY PROTECTIVE DEVICES ONCE LAWN HAS BEEN ESTABLISHED.

[illegible]



UTILITY TRENCH DETAIL (PAVED AREA)

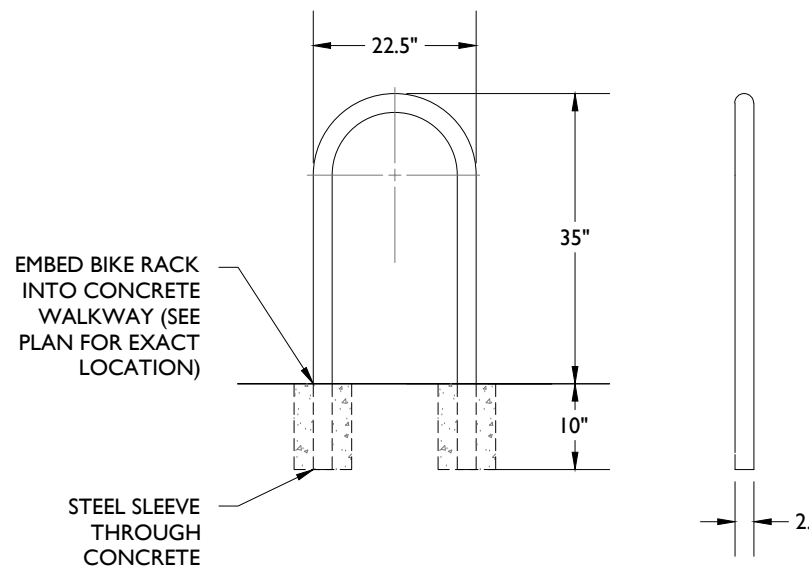
NOTE:
MINIMUM PIPE COVER SHALL BE AS FOLLOW:
• WATER - 48\"/>



ELECTRICAL CONDUIT
TRENCH DETAIL

NOT TO SCALE

2

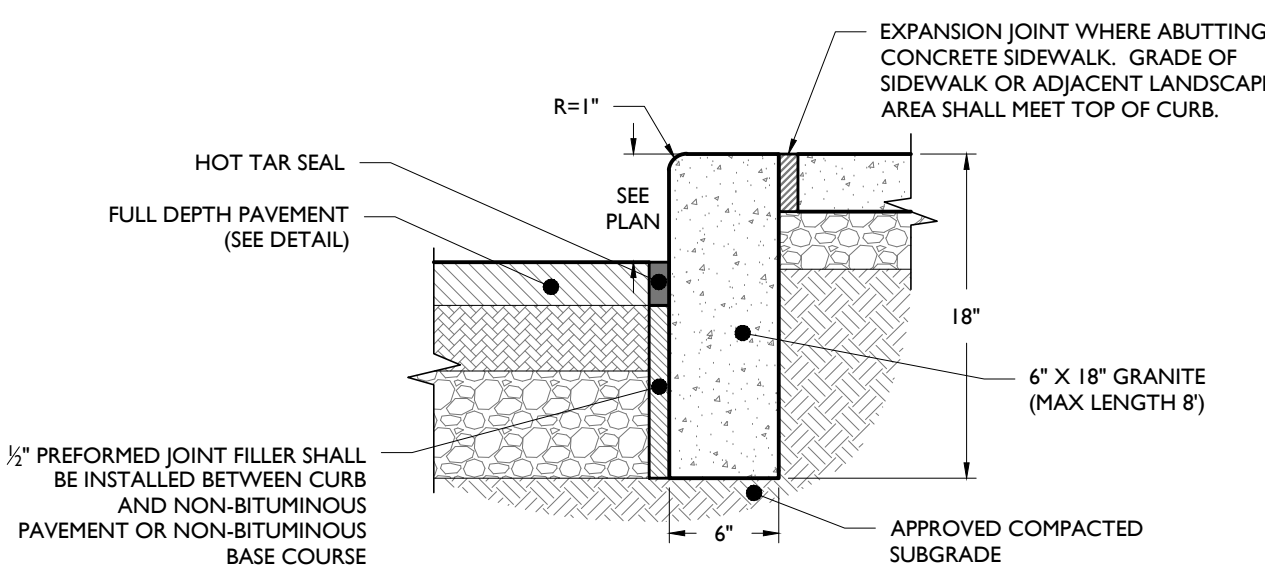


HOOP RACK HD IN GROUND
MOUNTED BIKE RACK DETAIL

NOT TO SCALE

NOTES:
1. BIKE RACK TO BE MANUFACTURED BY DERO BIKE RACKS OR APPROVED EQUAL.
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS

3

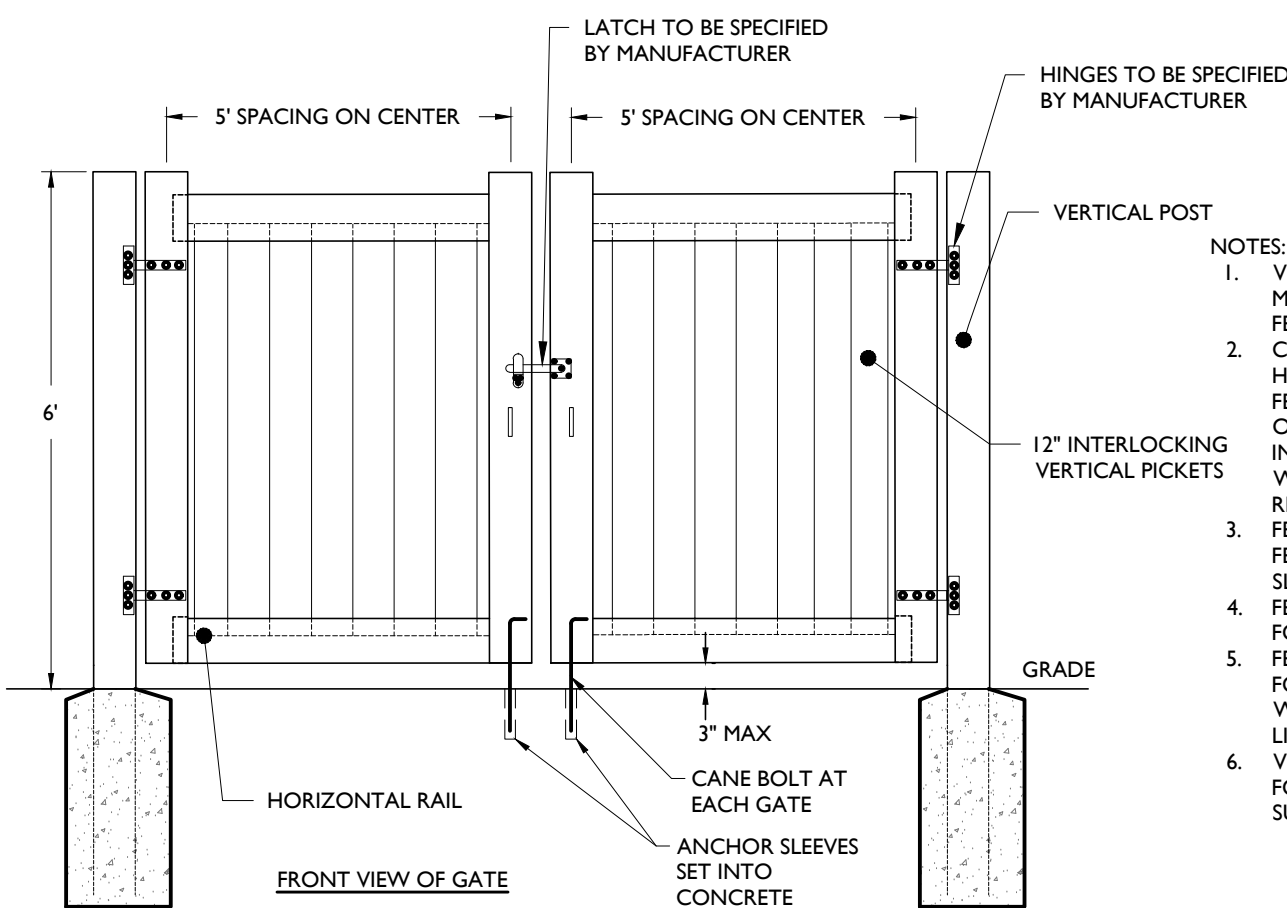


GRANITE BLOCK CURB DETAIL

NOT TO SCALE

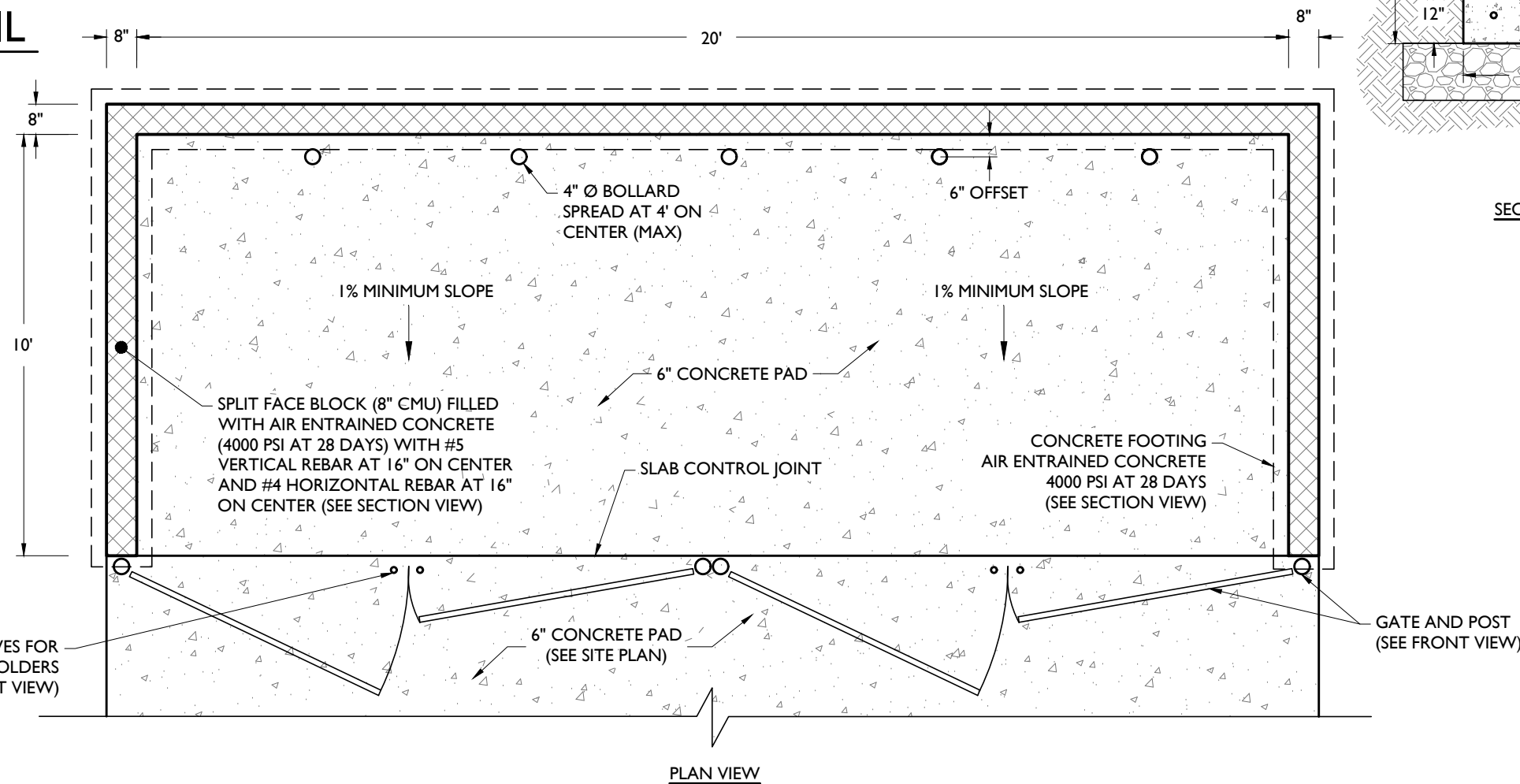
NOTES:
1. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED BETWEEN EACH BLOCK WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4\"/>

4



VINYL SLAT DETAIL

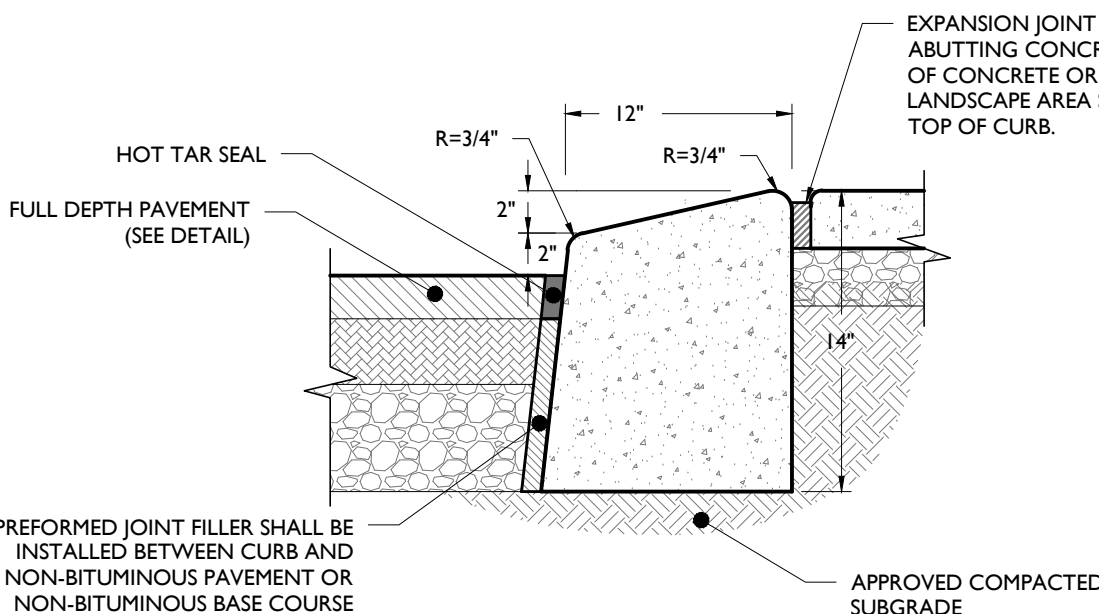
NOT TO SCALE



DOUBLE TRASH / RECYCLE ENCLOSURE DETAIL

NOT TO SCALE

5



MOUNTABLE CONCRETE CURB DETAIL

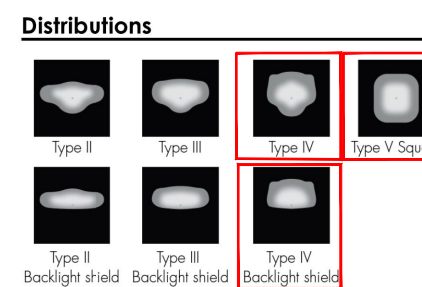
NOT TO SCALE

NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/4\"/>

6

Specification Sheet

Project Name _____ Qty _____
Type _____ Catalog / Part Number _____



Colors and Color Temperatures



Control

ON/OFF 0-10V

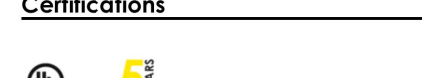
Motion detector options



Rating

IP66 (optical chamber)

Certifications

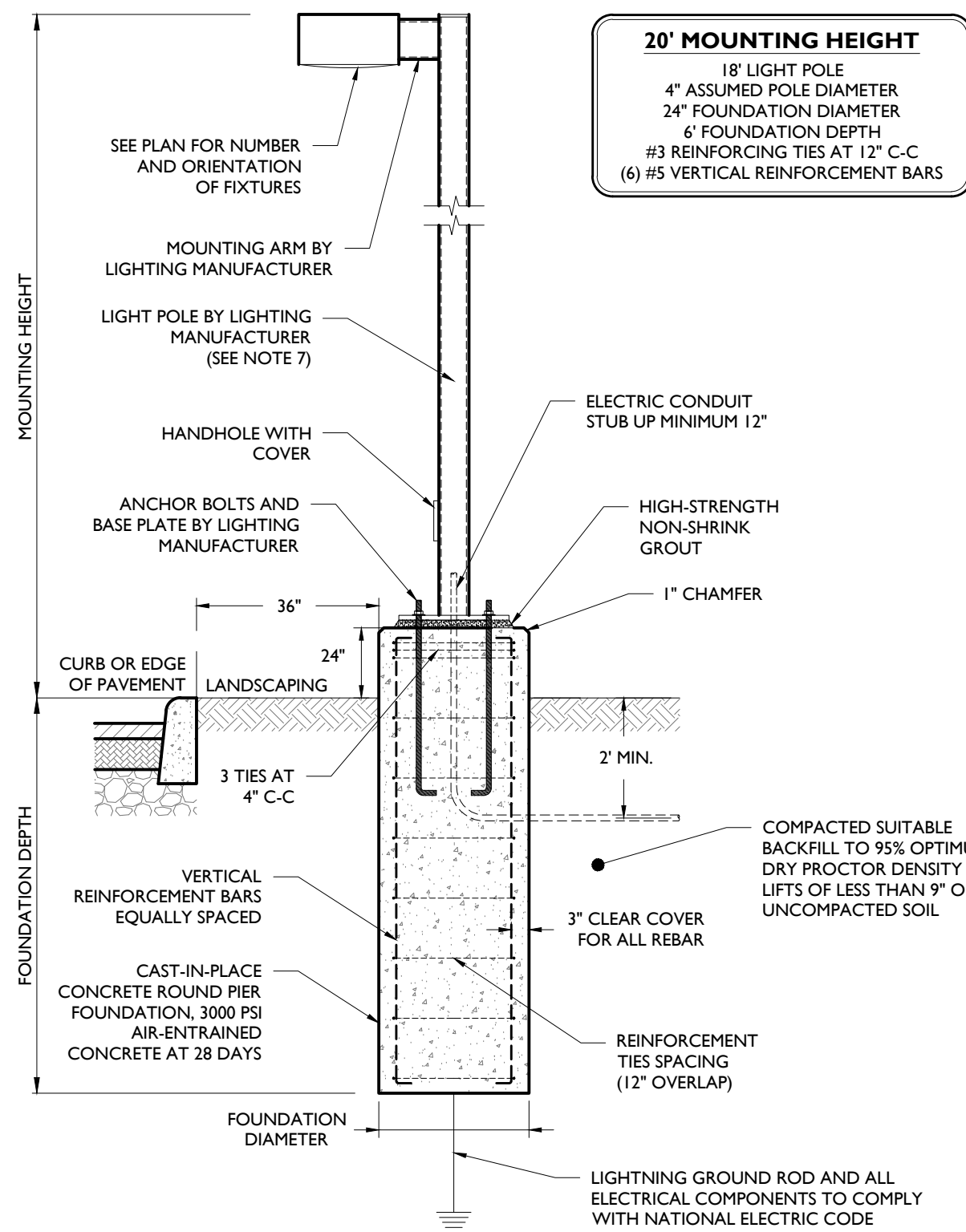


lumenpulse
Lumenpulse Group Inc. reserves the right to make changes to this product at any time without prior notice and such modification shall be effective immediately.

FIXTURE 'A', 'B', & 'C' SPECIFICATIONS

NOT TO SCALE

9

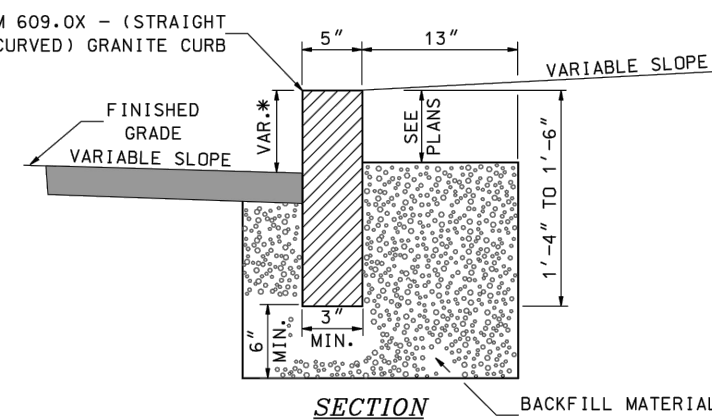


LIGHT POLE INSTALLATION DETAIL

NOT TO SCALE

NOTES:
1. MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
2. CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
3. ALL REBAR TO BE NEW GRADE 60 STEEL.
4. PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
5. CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
6. CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4\"/>

7



RADIUS	MAX. LENGTH
< 21"	USE CURVED CURB
22" - 28"	3'
29" - 35"	5'
36" - 42"	6'
43" - 49"	7'
50" - 56"	8'
57" - 60"	9'
OVER 60"	10'

NOTE: ADJOINING STONES SHALL HAVE THE SAME OR APPROXIMATELY THE SAME LENGTH.

MINIMUM LENGTH OF STRAIGHT CURB STONES = 3'
MAXIMUM LENGTH OF STRAIGHT CURB STONES = 10'
MAXIMUM LENGTH OF STRAIGHT CURB STONES LAID ON CURVES - SEE CHART

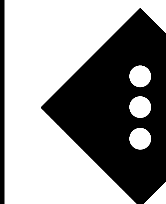
STRAIGHT OR CURVED GRANITE CURB

REV. DATE
06-16-2010

PLATE
1

8

STONEFIELD
engineering & design



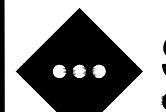
Rutherford, NJ • New York, NY • Boston, MA
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

1 Beacon Street, 15 Floor, Boston, MA 02108
Phone 617.203.2076

Optima
DERMATOLOGY
PROPOSED MEDICAL OFFICE

PARCEL ID: 04-01-0-000
23 PORTSMOUTH AVENUE
TOWN OF STRATHAM
ROCKINGHAM COUNTY, NEW HAMPSHIRE

JAKE MODESTOW, P.E.
NEW HAMPSHIRE LICENSE No. 16233
LICENSED PROFESSIONAL ENGINEER

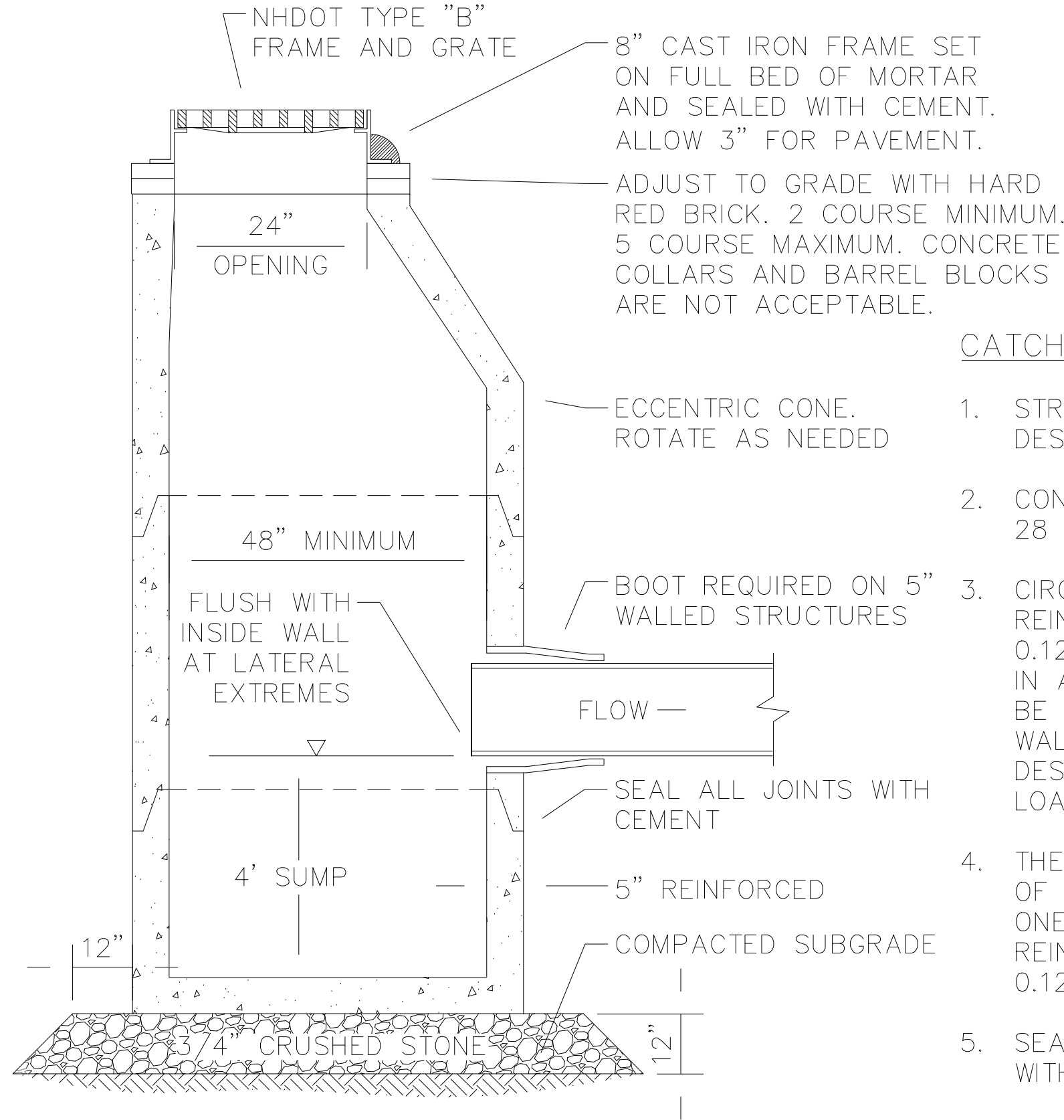


SCALE: N.T.S PROJECT ID: BOS-210036

TITLE:
CONSTRUCTION
DETAILS

DRAWING:

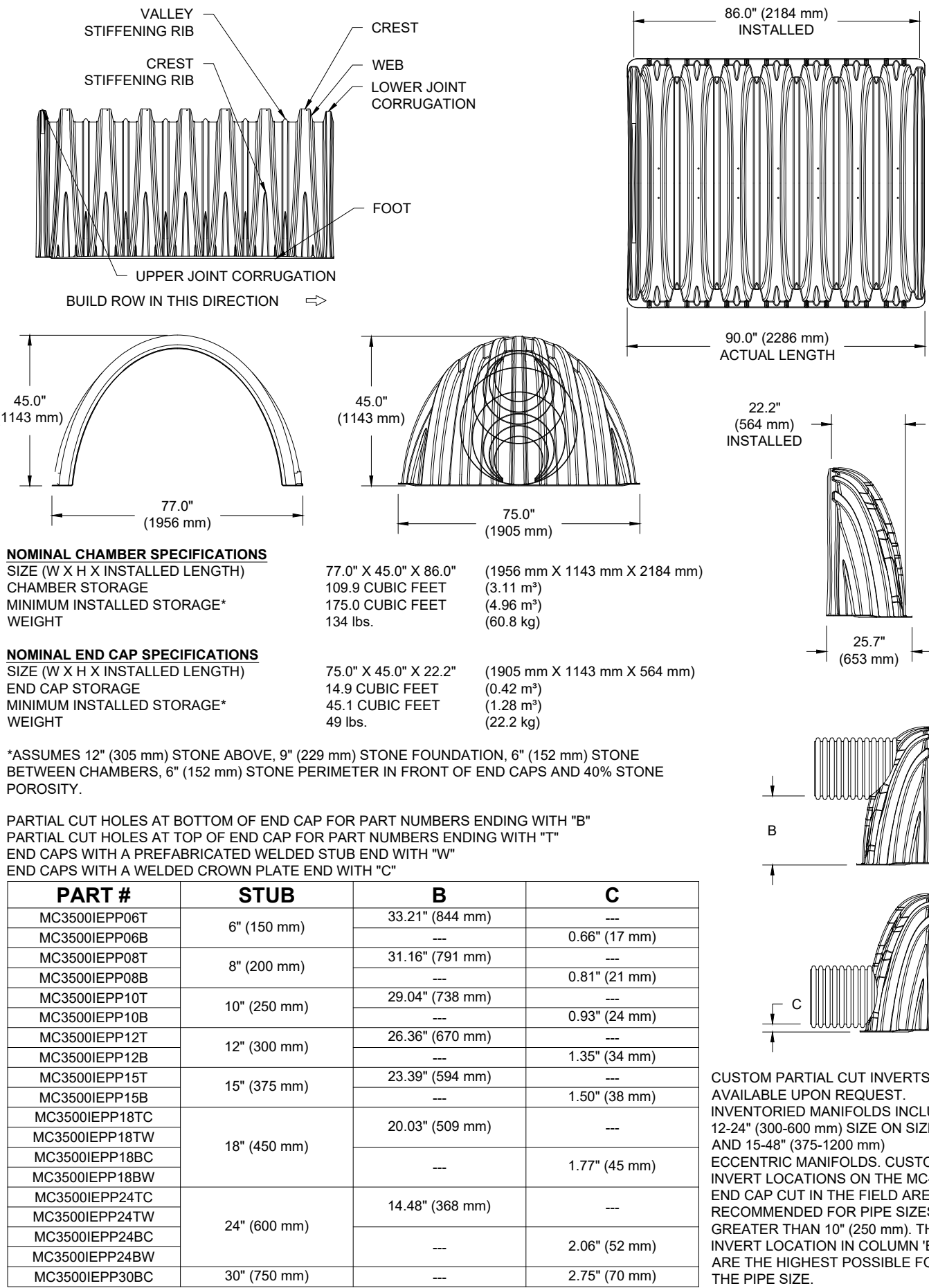
C-13



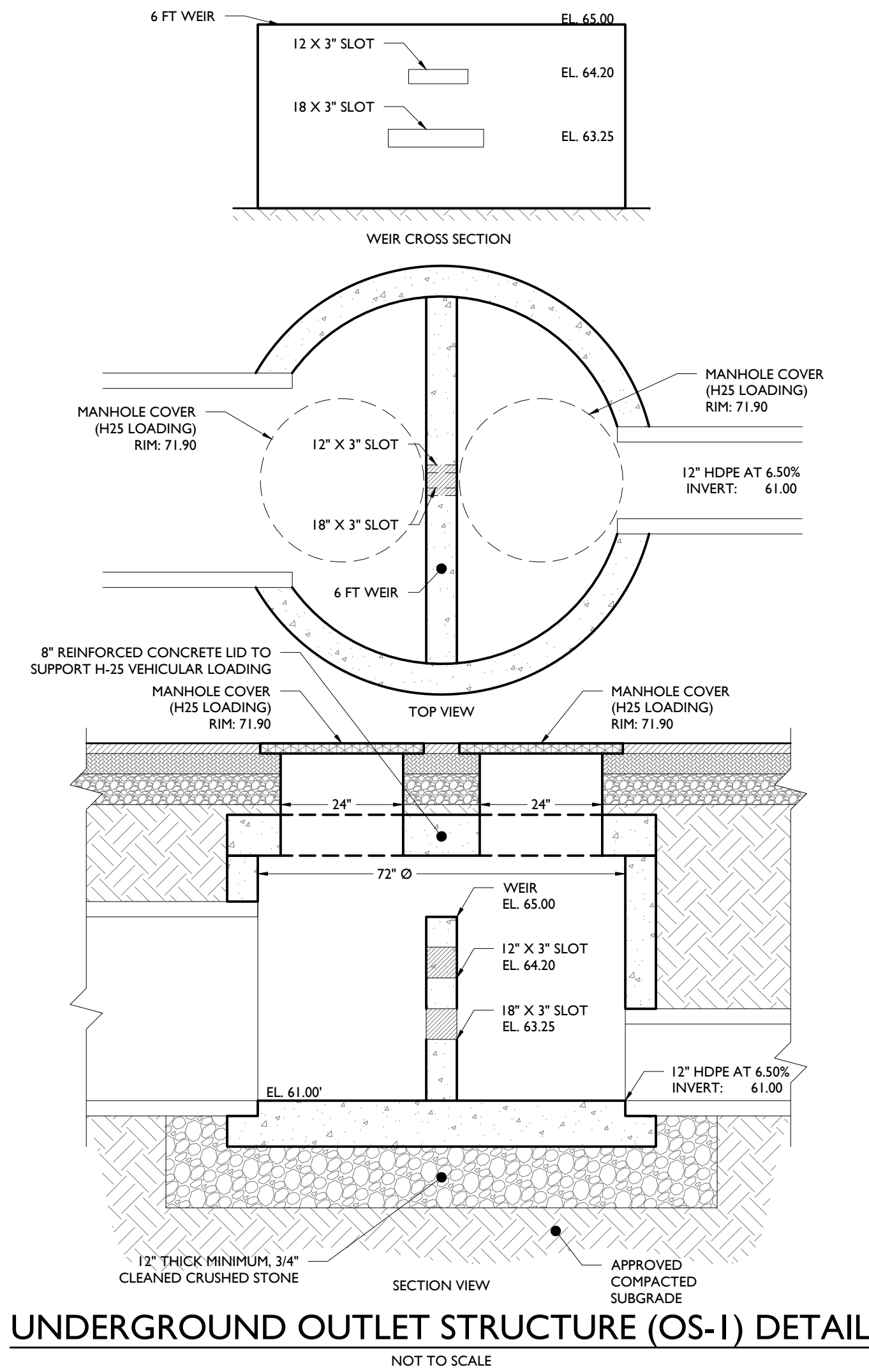
TYPICAL CATCH BASIN DETAIL
NOT TO SCALE

CATCH BASIN NOTES:

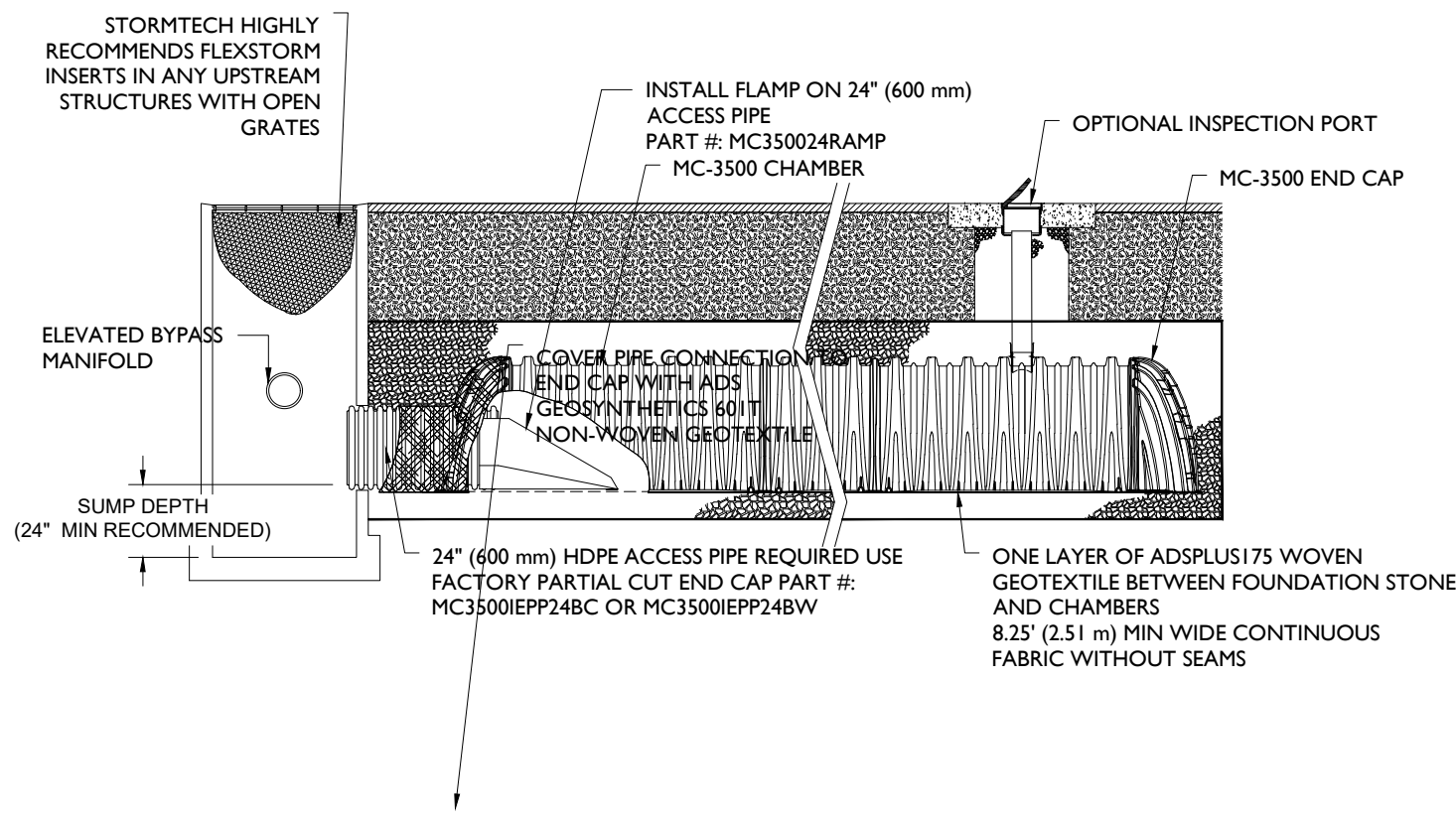
- STRUCTURE SHALL BE DESIGNED FOR H-20 LOADING
- CONCRETE: 4,000 PSI AFTER 28 DAYS.
- CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ.IN. PER LINEAR FOOT IN ALL SECTIONS AND SHALL BE IN THE CENTER OF THE WALL. STRUCTURE SHALL BE DESIGNED TO SUPPORT H-20 LOADINGS.
- THE TONGUE OR THE GROOV- OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ.IN. PER LINEAR FOOT
- SEAL ALL PRECAST JOINTS WITH BITUMASTIC SEAL.



MC-3500 TECHNICAL SPECIFICATIONS
NOT TO SCALE



UNDERGROUND OUTLET STRUCTURE (OS-1) DETAIL
NOT TO SCALE



MC-3500 ISOLATOR ROW PLUS DETAIL
NOT TO SCALE

INSPECTION & MAINTENANCE

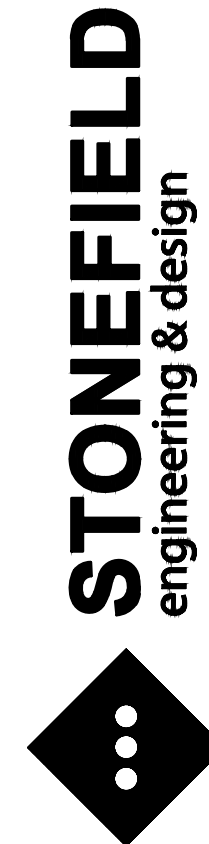
- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
 - A.1. REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - A.2. REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - A.3. USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - A.4. LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - A.5. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - B. ALL ISOLATOR PLUS ROWS
 - B.1. REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - B.2. USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - i) MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - ii) FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - B.3. IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A. A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - B. APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - C. VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

FOR MUNICIPAL & DOT SUBMISSIONS	FOR MUNICIPAL SUBMISSION	FOR DOT SUBMISSION	FOR PLANNING BOARD PRELIMINARY CONSULTATION	DESCRIPTION
JA	JR	JR	DO	BY
4	3	2	1	DATE
1	1	1	1	ISSUE

NOT APPROVED FOR CONSTRUCTION



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1 Beacon Street, 15 Floor, Boston, MA 02108
Phone 617.203.2076

FINAL SITE PLAN



PARCEL ID: 04-010-000
23 PORTSMOUTH AVENUE
TOWN OF STRATHAM
ROCKINGHAM COUNTY, NEW HAMPSHIRE

JAKE MODESTOW, P.E.
NEW HAMPSHIRE LICENSE No. 16233
LICENSED PROFESSIONAL ENGINEER



SCALE: N.T.S. PROJECT ID: BOS-210036

TITLE:

CONSTRUCTION
DETAILS

DRAWING:

C-14



FRONT VIEW



SIDE VIEW (RIGHT)

PROJECT NO : 1489

SEAL :

DATE :

CONSULTANT :

CLIENT :


KEY PLAN :

PROJECT LOCATION :

ORIGINAL ISSUE		DATE
CLIENT REVIEW		12.29.21
REVISIONS & SUBMISSIONS		DATE
1		
2		
3		
4		
5		
6		
7		
8		

DRAWING NAME :
EXTERIOR
RENDERINGS

DRAWING NO :
CP1.1

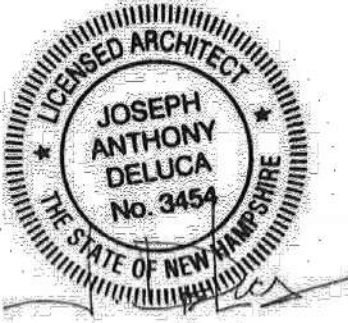


REAR VIEW



SIDE VIEW (LEFT)

PROJECT NO : 1489

SEAL :

DATE :

CONSULTANT :

CLIENT :


KEY PLAN :

PROJECT LOCATION :

ORIGINAL ISSUE		DATE
CLIENT REVIEW		12.29.21
REVISIONS & SUBMISSIONS		DATE
1		
2		
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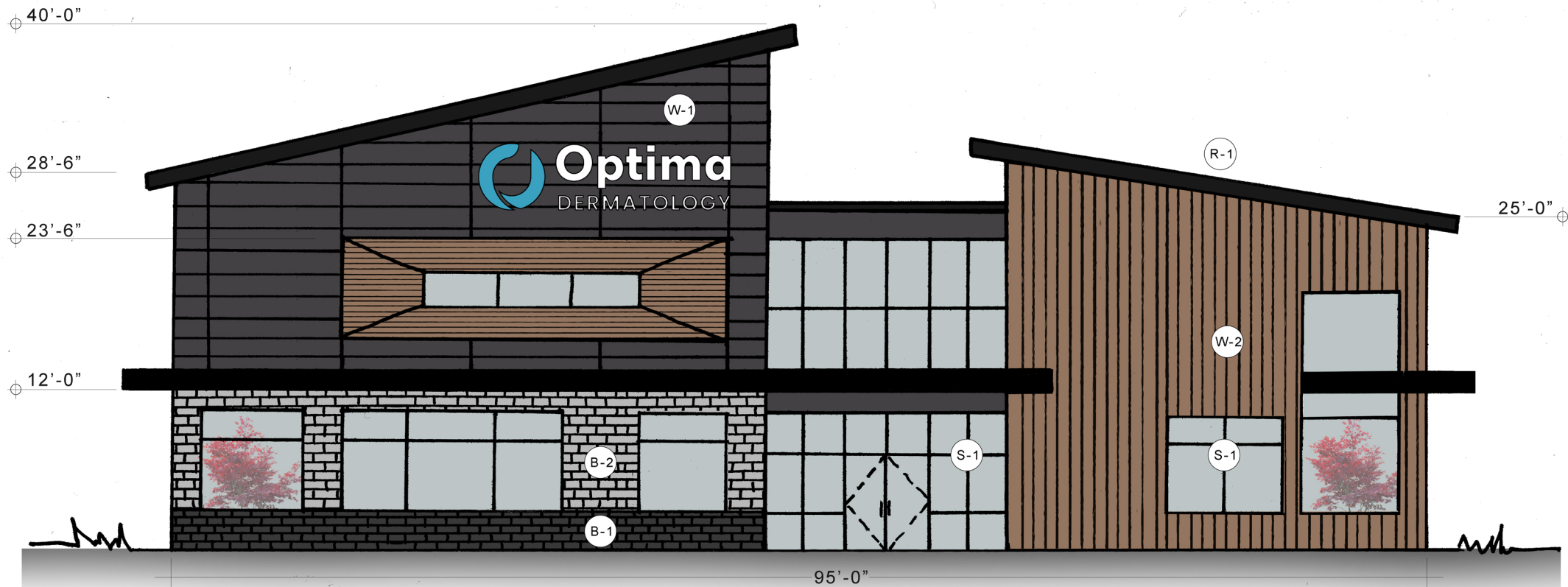
DRAWING NAME :

EXTERIOR
RENDERINGS

DRAWING NO :

CP1.2

NEW ENGLAND DESIGN
STRATHAM, NH

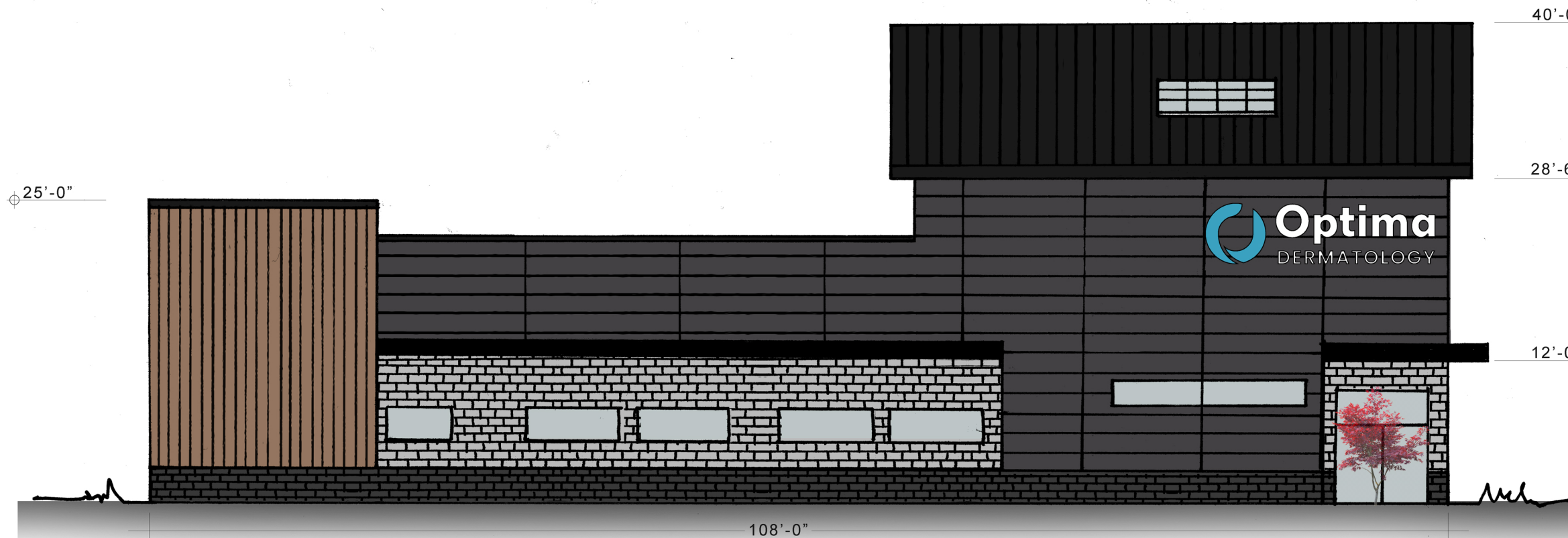


EAST ELEVATION - PORTSMOUTH AVENUE

SCALE: 3/32"

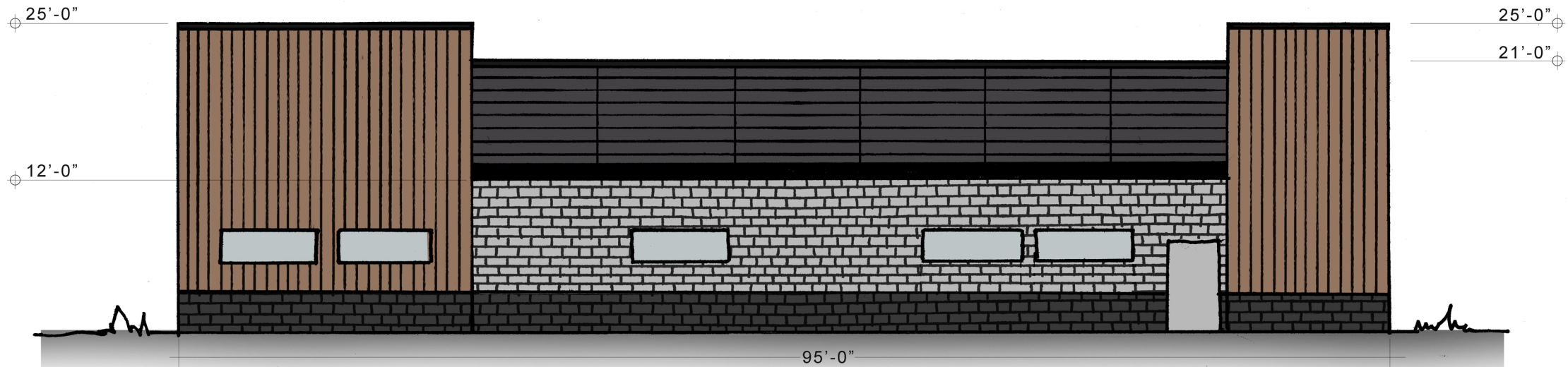
EXTERIOR FINISH NOTES

- (B-1) MODULAR BRICK (BASE)
GLEN-GERY - STEEL GREY
KLAYCOAT #K12-3008
- (B-2) MODULAR BRICK (WALL)
GLEN-GERY - STONE GREY
KLAYCOAT #K12-3009
- (W-1) WALL PANEL
NICHHA - ILLUMINATION
HORIZONTAL INSTALLATION
GRAPHITE
- (W-2) WALL PANEL
NICHHA - VINTAGEWOOD
VETICAL INSTALLATION
CEDAR
- (S-1) ALUMINUM STOREFRONT
KAWNEER 451T
BLACK
- (R-1) STANDING SEAM ROOF
PAC-CLAD - "SNAP-CLAD
BLACK

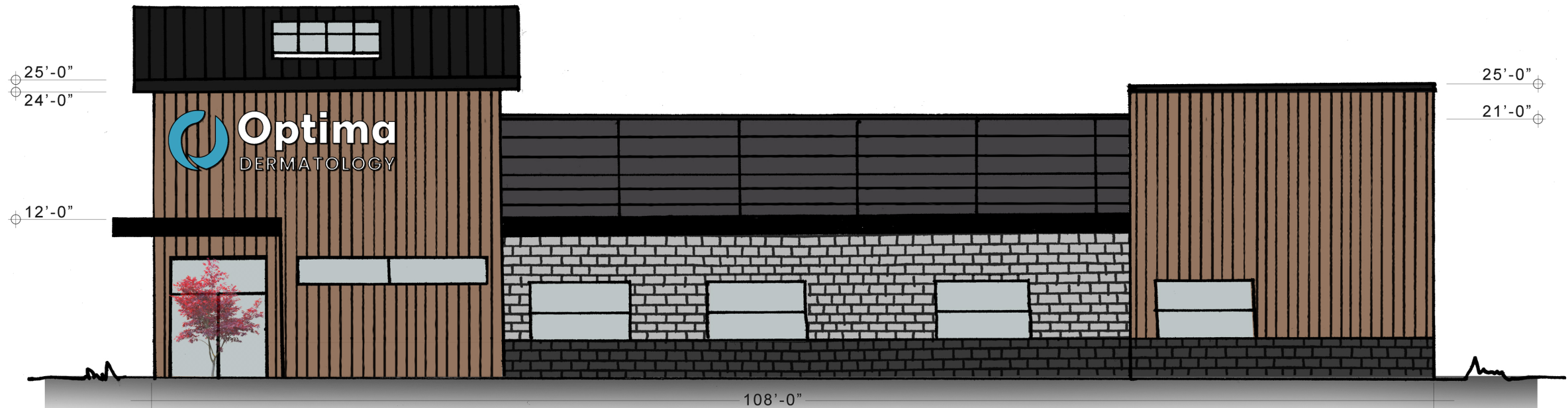


SOUTH ELEVATION - PARKING

SCALE: 3/32"



WEST ELEVATION - MCINNIS AVENUE
SCALE: 3/32"



NORTH ELEVATION - ADJACENT PROPERTY
SCALE: 3/32"



TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board/Administration/Assessing 603-772-7391

Code Enforcement/Building Inspections/Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Town Planner
DATE: December 10, 2021
RE: **Proposed 2022 Zoning Amendments, Revisions for January 19, 2022**

The 2022 Zoning Amendments are provided in their final form for the Planning Board's consideration. No changes have been made to the amendment language except for those expressly noted in this memo.

- 1.) The following changes have been incorporated into Amendment 5: Route 33 Legacy Highway Heritage District:
 - a. Changes requested by the Planning Board at the January 5, 2022 meeting have been incorporated. Any new text is highlighted in **blue**, while deletions are highlighted in ~~red-strikethrough-text~~.
 - b. At the request of the DPW, a minimum 5-foot front setback has been incorporated into Section 3.10.6.c, *Dimensional Requirements*.
 - c. Based on a review of the Ordinance by the Town's legal counsel, some changes have been made to the language that are all documented in blue or red ink. These edits are minor except for the following more substantive changes:
 - i. The previous text in Section 3.10.4.e required the Advisory Committee to meet within 14 days of an application submission. The revised text requires the Advisory Committee to schedule application deadlines at least once per calendar month and for reviews by the Advisory Committee to occur subject to their annual schedule. The language does allow the Advisory Committee to modify their schedule consistent with notice requirements for public meetings.
 - ii. It is explicitly stated in Section 3.10.4.f that the Planning Board makes all final decisions on applications.
 - iii. A new subsection c has been added to Section 3.10.5 providing the Planning Board the authority to make a determination if an application requires review and approval if there is any question whether one does.
- 2.) For Amendment 6, Table of Uses, an additional column has been added to the Table at the request of the Planning Board Chair denoting uses permitted in the Flexible/Mixed-Use Development (FMUD) District. A footnote has also been added clarifying that the uses are subject to the requirements of Section 3.7, *Flexible/Mixed-*

Use Development District. This is simply a more user-friendly change so that readers who refer to the Table can understand the uses permitted in the FMUD District.

- 3.) Based on Planning Board comments and discussions with the new Building Inspector/Code Enforcement Official, modifications have been made to Amendment 10 to the Building Ordinance, clarifying that previously issued outstanding permits should be addressed before pulling new ones. The changes, highlighted in blue or red, clarify that a previously issued permit must be outstanding for more than one year in order to restrict the pulling of new permits. Additionally, the language has been eased to only require an inspection and that safety issues are addressed and fees paid. The intent of the revisions is not to over-regulate longstanding Do-It-Yourself projects (for example, a bathroom remodel that drags on a couple years) and to discourage residents from pulling permits for subsequent projects.



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Code Enforcement/Building Inspections/Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board Members
FROM: Mark Connors, Town Planner
DATE: December 10, 2021
RE: **Proposed 2022 Zoning Amendments**

The following outlines proposed Zoning Amendments for 2022 and for discussion at the December 15, 2021 meeting.

Amendment 1: Flexible/Mixed Use Development District Public Hearing tonight

Amendment 2: Growth Management & Land Use Control. Already posted

Amendment 3: Accessory Dwelling Units. *To delete Sub-Section 5.4 Accessory Dwelling Units in its entirety and to replace with a revised Sub-Section 5.4 Accessory Dwelling Units to clarify the requirements associated with accessory dwelling units and to enact additional requirements for detached accessory dwelling units to ensure that such uses do not create the appearance of two primary residences on a single lot.*

Amendment 4: Solar Energy Systems. *To delete Sub-Section 5.14.4.2 Setbacks for Solar Energy Systems in its entirety and replace with a revised Sub-Section 5.14.4.2 in order to require small-scale ground-mounted solar energy systems meet the minimum property setbacks of the applicable zoning district and to require medium- and large-scale systems be set back a minimum of 60 (sixty) feet from the front property boundary .*

5.14.4.2 Setbacks:

~~a. Small and medium scale ground mounted solar energy systems accessory to principal use may be located no closer than [1/2 of the setback that would otherwise apply] from the side or rear lot line. All ground mounted solar energy systems in residential districts shall be installed either in the side yard or rear yard to the extent practicable.~~

~~b. Small and medium scale ground mounted solar energy systems accessory to a principal use may be located no closer than twenty (20) feet from the front, side or rear lot line. All ground mounted solar energy systems in residential districts shall be installed either in the side yard or rear yard to the extent practicable.~~

a. Small-scale ground-mounted solar energy systems accessory to a principal use must adhere to all of the setback requirements of the applicable zoning district. All ground-mounted solar energy systems in residential districts shall be installed in the side yard or rear yard to the extent practicable.

b. Medium- and Large-scale ground-mounted solar energy systems shall be set back a minimum of 60 (sixty) feet from the boundary with any public right-of-way and adhere to all other applicable setback requirements of the applicable zoning district.

Amendment 5: Route 33 Legacy Highway Heritage District. *To create a new zoning district, the Route 33 Legacy Highway Heritage District, for parcels with frontages along the Route 33 corridor from the Town Center District to the Greenland town line. The intent of the District is to encourage historic preservation and adaptive re-use of structure through both greater regulation of demolitions and major building alterations as well as through greater flexibility in land uses.*

Amendment 6: Table of Uses. *To delete Section 3.6 Table of Uses and Footnotes to Table 3.6 in its entirety and replace with a revised Section 3.6 Table of Uses and Footnotes to Table 3.6 in order to better clarify permitted and prohibited uses by zoning district. This amendment would also permit Personal Services in the Professional/Residential District and account for land uses in the new Route 33 Legacy Highway Heritage District.*

Amendment 7: Definitions. *To amend Section II Definitions to provide definitions for land uses included in the Table of Uses to better define and clarify the permitted nature and scope of land uses.*

Bed & Breakfast or Inn - A use conducted by the resident and owner of the property where overnight accommodations to the general public are offered on a transient basis and where a full or continental breakfast is offered to overnight guests. The owner of the inn shall maintain his or her full-time residence at the property and no more than ten rooms or suites may be offered for overnight accommodations. A Bed & Breakfast or Inn may include an accessory restaurant or tavern provided it is clearly accessory to the primary use and does not exceed a total of 2,000 square-feet of interior space.

Hotel or Motel: A use where overnight accommodations to the general public are offered on a transient basis. A hotel or motel shall include more than ten rooms for overnight occupancy and may include restaurants or dining facilities and facilities for guest use including swimming pools, athletic courts,

Small Conference Center - A facility, located in a building, which is rented, leased, or otherwise made available to any person or group for the purpose of hosting public or private events of a social, civic, or business nature, often with accommodations for food service for guests. Occupancy of Small Conference Centers shall be restricted to a total of no more than 50 guests at any one time.

Parking Lot: A storage area for six or more motor vehicles.

Nursing Homes and Rehabilitation Centers - A facility providing room and board together with continuing medical or nursing supervision, or medical care or treatment, but not including a facility that is primarily for the provision of alcohol, drug abuse or mental health services. Uses include licensed nursing homes, rest homes, convalescent care facilities, rehabilitation hospitals, and/or hospice centers.

Amendment 8: Table of Dimensional Requirements. *To amend Section 4.2 Table of Dimensional Requirements and Section 4.3 Explanatory Notes to clarify that 'porkchop lots'*

with reduced frontages are permitted only subject to the requirements in the Zoning Ordinance and Subdivision Regulations and to clarify that the minimum frontage requirement for parcels in the Professional/Residential District is 150-feet.

Amendment 9: Affordable Senior Housing. *To eliminate Section 5.7 Affordable Senior Housing and re-number subsequent sections of the Ordinance, because the Ordinance already provides for Elderly Affordable Housing and this section is duplicative. This is a housekeeping amendment to eliminate inconsistencies related to the land use in the Ordinance.*

Amendment 10: Building Ordinance. *To amend Section 16.2.1 of the Building Ordinance to add a Sub-Section A to prohibit the issuance of building permits for a property if existing non-inspected permits are outstanding on the property. This amendment would require property owners to address any outstanding issues related to previously issued building permits and allow for necessary inspections before a new building permit could be issued.*

New proposed text is highlighted in bold.

16.2.1 Permit Required: Any person before commencing work on the erection or alteration of any building or structure must first obtain a permit duly granted for such erection or alteration by the Building Inspector. Before a permit shall be issued by the Building Inspector, he shall determine whether the proposed construction or alterations conforms to all the conditions of this Ordinance. For the construction of agricultural buildings with no public use (public use is defined as use that includes the general public utilizing the proposed structure) there shall be no Planning Board review required and permitting will comply with Appendix C, Group U – Agricultural Buildings found in the NH State Building Code. (Rev. 3/16)

16.2.1(a) Action on application. Permits shall not be issued when there is found to be previously issued and non-inspected permit(s) already issued for the property **that have been outstanding for a period of one year or more.** Only after ~~previously issued permit has been closed out,~~ inspections have been completed for the previously issued permit have been completed, **any outstanding safety issues successfully addressed to the satisfaction of the Building Inspector/Code Enforcement Official,** and any outstanding fees owed to the Town paid, may a new permit for the same property be issued.

3.10 ROUTE 33 LEGACY HIGHWAY CORRIDOR DISTRICT (Adopted 3/21)

3.10.1 Authority:

- a. The action of the Town of Stratham, New Hampshire in the adoption of this Ordinance is authorized under RSA 674:21.II Innovative Land Use Controls and RSA 674:16 Grant of Power.
- b. This Ordinance was adopted to promote the health, safety, and general welfare of the Town of Stratham and its citizens, including protection of the environment, conservation of land, energy and natural resources, reduction in vehicular traffic congestion, more efficient use of public funds, health benefits of a pedestrian environment, preservation of community character, education and recreation, reduction in sprawl development, and improvement of the built environment.
- c. This Section was adopted as one of the instruments of implementation of the public purposes and objectives of the Town's Master Plan. This Ordinance is declared to be in accord with the Master Plan, as required by RSA 674:2.

3.10.2 Applicability:

- a. This Ordinance shall establish the **Route 33 Legacy Highway Heritage District** (the "District"). The boundaries of the District, [which includes properties with frontages along the NH Route 33 corridor from the Town Center District to the Greenland town line](#), are shown on the Official Town Zoning Map (as amended) entitled "Zoning Map, Town of Stratham, NH", and hereby incorporated as part of this ordinance.
- b. The provisions of the **District** shall be mandatory for development projects within the District as stipulated under **Section 3.10.5 Activities Subject to Review**. Development projects submitted for approval under this zoning district shall be subject to applicable requirements of the Subdivision and Site Plan Review Regulations of Stratham.
- c. When in conflict, the provisions of the District shall take precedence over those of other ordinances, regulations, and standards except the Local Health and Safety Ordinances and Building Codes.
- d. Section 3.8.10 Definitions of Terms contains regulatory language that is integral to the District. Those terms not defined in Section 3.8.10 or in Section II of the Zoning Ordinance shall be accorded their commonly accepted meanings. In the event of conflicts between definitions in the Zoning Ordinance and the District, those of the District shall take precedence.
- e. The requirements of Section 3.10.8 Development Standards and Tables are an integral part of the District and are legally binding. Unless otherwise noted, other diagrams and illustrations that accompany this ordinance are provided for guidance purposes and as recommended examples.
- f. If in conflict, numerical requirements shall take precedence over graphic illustrations.

3.10.3 Purpose and Intent:

- a. To recognize and preserve the uniquely historic character of the Portsmouth Avenue/Route 33 corridor, and to encourage the adaptive re-use of structures in a manner compatible with that character.

- b. To maintain and enhance the existing and surrounding neighborhood's residential and agricultural character while providing additional opportunities for Stratham-based entrepreneurs and appropriately-sized small businesses to enter the marketplace, including home-based businesses or home occupations.
- c. To foster greater private investment along Portsmouth Avenue/Route 33, particularly in the nearly three dozen historically significant properties identified along the heavily traveled corridor.
- d. To preserve existing agricultural uses and to encourage new ones that are central to Stratham's existing character and provide new venues for the creation of locally-prepared or produced goods, foods, and services.
- e. To promote mixed-use development while maintaining a buffer to adjoining residential neighborhoods and protecting the historic fabric of the highway including structures, landscapes, features, and overall character;
- f. To provide for pedestrian and bicycle travel through the creation of sidewalks, paths, and bicycle paths where appropriate.
- g. To provide additional opportunities for residents of Stratham to engage socially and to allow additional venues for community discussions, for artistic expression, and to showcase the cultural and performing arts.
- h. To incentivize the creation of a greater diversity of housing types, styles, and sizes that are more accessible to community members of all ages and income levels.

3.10.4 Heritage District Advisory Committee

- a. A Neighborhood Heritage District Advisory Committee, hereafter referred to as the Advisory Committee, shall be formed within 120 days of the adoption of the Route 33 Legacy Highway Heritage District for the purpose of reviewing and providing comments to the Planning Board for final decisions of applications. The Committee shall consist of the following members:
 - 1. One ~~designee~~ appointee of the Planning Board
 - 2. One ~~designee~~ appointee of the Heritage Commission
 - 3. One ~~designee~~ appointee of the Stratham Select Board
- b. In making appointments to the Heritage District Advisory Committee, reasonable efforts shall be made to stagger the terms of appointees and to appoint at least one member who lives in or owns property within the District.
- c. An appointee ~~designee~~ to the Advisory Committee may or may not be a member of the body they are appointed by. Terms of Advisory Committee members shall be for three years, unless the appointee is a member of the body they are appointed by in which case the length of the term shall coincide with their term on the respective Board or Commission.
- d. Members of the Advisory Committee shall appoint a Chairperson and Vice Chairperson on an annual basis.

- e. ~~The Advisory Committee shall meet within fourteen (14) days of the receipt of an application for development within the Heritage District.~~ The Advisory Committee, in consultation with the Planning Board and Planning Department, shall publish a list of meeting dates and deadlines annually. ~~The Advisory Committee shall set at least one application deadline in every month of the calendar year. The Advisory Committee may amend any meeting date so long as adequate public notice is provided consistent with state law.~~ All meetings of the Advisory Committee shall be public meetings.
- f. The Advisory Committee shall be empowered to carry out the following activities:
1. Establish Rules of Procedure, in accordance with RSA 671:1.
 2. Adopt guidelines, guidance documents or similar materials to assist applicants, the Advisory Committee, and the Planning Board in the composition, review, and efficient processing of Heritage District applications.
 3. Advise the Planning Board to guide decision-making on all Heritage District applications, through the submission of written recommendations and comments, including on, but not limited to, the following matters:
 - i. To provide recommendations related to site design and architectural characteristics of applications.
 - ii. To provide recommendations related to requested waivers when applicable under these regulations.
 - iii. To advise the Planning Board, when applicable, if an application meets the Conditional Use Permit criteria required under the Zoning Ordinance.
 - iv. To recommend final action on applications, including approval, denial or conditional approval of applications. The Advisory Committee may provide recommended language for conditions of approval.

Comments provided by the Advisory Committee shall be advisory in nature and the Planning Board shall not be bound by such comments. ~~The Planning Board shall make all final decisions on applications.~~

4. When infrastructure improvements are planned to the corridor by the Town or the NH Department of Transportation, the Advisory Committee may provide comments to guide the design and/or implementation of such improvements. Additionally, the Committee may publish recommend roadway design and/or cross-sections to help guide planning, design, or engineering of improvements to public transportation infrastructure.
5. The Advisory Committee may participate in any public planning or design processes directly affecting the Portsmouth Avenue/Route 33 corridor.

3.10.5 Activities Subject to and Exempt from Review

- a. The following construction activities occurring within the District shall be subject to review by the Advisory Committee and final decision by the Stratham Planning Board:

1. The demolition, partial demolition, or removal of any structure that is over 100 square-feet in area that is at least 50 years old.
 2. The construction of new structures, including accessory structures over 100 square-feet in area, or the addition to an existing structure. Construction activities may be exempt from review if they meet the requirements of Section 3.10.5.b.3.
 3. Any activity which requires Site Plan Review as stipulated in the Stratham Site Plan Regulations.
 4. Site work that increases the amount of impervious surface coverage on a parcel by more than 2,500 square-feet.
 5. New or replacement permanent signage unless it meets all requirements of Section 3.10.7.b of this Ordinance.
 6. The removal or clear cutting of existing vegetation more than 12,000 square-feet in area.
 7. The replacement of siding or roofing materials if the replacement material is of a different material unless the replacement material meets the requirements of Section 3.10.5.b.5.
 8. The siting of ground-mounted solar energy facilities shall be subject to review and approval unless such facilities meet the criteria outlined below, in which case such facilities shall be exempt from review and approval.
 - i. Views of the solar facilities must be screened from the public right-of-way. ~~The solar facilities must include screening from the public right-of-way.~~
 - ii. The solar facilities must be a small size array as defined under the Solar Energy Ordinance. Medium- and Large-scale arrays shall require review by the Advisory Committee and approval by the Planning Board and meet all requirements of Solar Energy Ordinance.
- b. The following activities within the District shall be exempt from review by the Heritage District Advisory Committee and approval of the Stratham Planning Board:
1. The demolition, partial demolition, or removal of any accessory structure that is under 100 square-feet and the demolition, partial demolition or removal of any structure that is less than 50 years old.
 2. The construction of a new accessory structure that is 100 square-feet or less in area and less than 12-feet in height.
 3. The construction of an addition to an existing structure shall require review and approval unless the addition meets all of the following criteria, in which case the addition shall be exempt from review and approval:
 - i. The addition is less than 250 square-feet;
 - ii. The addition is located to the rear or side of an existing structure;

- iii. The addition, based on the determination of the Stratham Code Enforcement Officer/Building Inspector, is not visible from the Portsmouth Avenue/Route 33 public right-of-way.
 4. Painting of exterior features
 5. The replacement of building siding and roofing materials if the replacement material is of the same general material. Additionally, the replacement of building siding materials may be exempt from review [by the Advisory Committee](#) and [approval by the Planning Board](#) only if existing vinyl, aluminum, or stucco siding is proposed to be replaced with wood siding or a like material.
 6. The siting of solar energy facilities, provided they meet the criteria of Section 3.10.5.a.8 of this Ordinance and all other requirements of the Zoning Ordinance.
- c. [If a case arises where there is a question whether an application requires review by the Advisory Committee and approval of the Planning Board, the Planning Board shall be empowered to make a final decision on whether the application requires review by the Advisory Committee and approval of the Planning Board or is exempt from the provisions of this Ordinance.](#)

3.10.6 Site Design Standards:

- a. Purpose & Intent: The purpose and intent of this Ordinance is to preserve as much of the remaining historic character of the Portsmouth Avenue/Route 33 corridor as is practicable while allowing new construction that is appropriately scaled and consistent with the existing character of the built environment. In order to advance these objectives, the following standards shall apply to all applications for development in the District, however the Planning Board shall be empowered to waive any requirement of this section if the Board determines that such action will not diminish the historic and architectural character of the corridor.
- b. Architectural Standards:
 1. Building architectural design shall be consistent with or complementary to the existing character and land uses of the District, which is characteristic of traditional New England single-family and agricultural uses.
 2. The historic character of buildings/structures will be retained and preserved. The removal of distinctive materials or alteration of original features will be avoided. Further, new additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the historically significant structures. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

3. Building placement should follow the existing and historic development pattern of the highway, and should minimize visual, noise, and odor impacts to abutting properties and the public right-of-way.
4. Multiple buildings on the same site and attached buildings should be designed to create a cohesive visual relationship, as well as efficient circulation and access for pedestrians and vehicles. Accessory buildings should be designed to complement the primary building and/or use on the site in design and material expression.
5. Unless part of a barn or associated agricultural structure, long unbroken or unadorned wall planes shall be avoided such that building facades and walls should not extend beyond 50 feet without including changes of wall plane that provide strong shadow or visual interest.
6. Franchise or corporate style architecture is expressly prohibited. Highly contrasting color schemes (unless historically and architecturally appropriate) are prohibited in the District.
7. Fences in the traditional historic New England Village style and materials (i.e. picket, split rail, wrought iron, brick, stone) shall be used. ~~Vinyl fencing and/or~~ Chain link security fences may be allowed only where necessary for safety or security and where placement is limited to the rear yard of the property. ~~The Planning Board may permit vinyl fencing if it determines the material is consistent with the existing character of the property and will not detract from the character of the surrounding area.~~
8. Exterior building siding materials shall include natural wood and/or cement based artificial wood siding, glass, or natural brick or stone materials. The Planning Board may permit vinyl or other siding materials if it determines the material is consistent with the existing character of the property and will not detract from the character of the surrounding area.
9. Sloped roofs are ~~required~~ ~~strongly recommended~~. The Planning Board may permit flat-roofed buildings only if it determines that the siting of the structure will not detract from the visual character of the surrounding area.
10. Standing seam, copper roofing, asphalt, wood, and slate shingles are preferred. Photovoltaic (PV) panel roof materials, which ~~“simulate”~~ traditional roofing materials, are acceptable.
11. Window and door openings on the front façade shall occupy a total of no less than 20% and no more than 70% of the gross square footage of that facade. The size and placement of windows should be commensurate with architectural style of the buildings and landscape elements in the development.
12. All windows and doorways shall be encased with wood or simulated wood trim.

13. True divided light windows and shutters are encouraged. Shutters shall be sized such that when closed they cover the window.
14. Material or color changes generally should occur at a change of plane. Piecemeal embellishment and frequent changes in color or material are prohibited. ~~should be avoided.~~
15. Rooftop ~~and ground-mounted~~ mechanical equipment shall be fully screened from view of abutting properties and from the public right-of-way.
16. All new electrical utilities shall be located underground.

c. Dimensional Requirements:

1. Structures shall be sited such that their front setbacks are generally consistent with structures on abutting properties located on the same side of the road. Therefore, the front setback shall be determined by calculating the existing setbacks of the primary structures of the abutting properties located on the same side of the street. The permitted front setback shall be within 10 feet of the average of the existing setbacks of the abutting properties. However, in no case shall the front setback be required to be more than 35-feet.
2. Side and rear setbacks shall be a minimum of 20-feet.
3. No structure shall exceed a height of 35 feet.
4. No structure shall exceed a gross building footprint size of 10,000 square-feet.
5. New structures shall not be sited in front of, or in a manner that distorts the view of historic buildings, as viewed from the public right-of-way.

d. Parking Standards:

1. Surface parking areas must be limited and sufficiently screened in the District. The number of surface parking spaces provided for a use shall not exceed the minimum number of spaces required under the Stratham Site Plan Regulations by a factor of more than 15 percent. The Planning Board may waive this requirement if additional parking is provided in the form of overflow parking that is only utilized for special events and and/or unusual circumstances and includes a pervious surface treatment.
2. Parking areas must be located to the side or rear of a structure and should be setback at least 20-feet from the boundary with a public right-of-way or an abutting property. The Planning Board may waive this requirement, if after consultation with the Advisory Committee, the Board determines that there is no reasonable alternative location on the parcel in which to locate parking conforming with this requirement.
3. Parking areas located fronting a roadway or located within 20-feet of an abutting property boundary shall be subject to the landscaping and screening requirements of Section 3.6.10.e.2, Landscaping Standards, of the Ordinance.
4. For site with two or more uses, shared parking shall be permitted and encouraged to maximize parking resources and reduce the provision of parking

facilities that go unutilized during most hours of the day. For applications that include shared parking, the Planning Board may require the applicant provide a parking demand memorandum prepared by a certified professional indicating how the uses will generate differing peak periods of parking demand.

e. Landscaping Standards:

1. The Planning Board, at its sole discretion, may require a Landscape Plan for any application under this Ordinance. Additionally, the Planning Board may require landscaping be planted to provide screening and to reduce the visual effects of new development along the corridor. For applicants seeking site plan approval, conformance with the Landscaping Requirements of the Site Plan Regulations is required.
2. Use of native species of trees, shrubs, ground cover, and flowering plants is encouraged. Landscaping should be tolerant of a New England climate, including to road salt applications.
3. For properties with ~~an approved non-residential use~~ ~~an approved commercial use~~, the following Landscaping Standards shall apply:
 - i. Street Trees: A Street Tree strip shall be provided running parallel with the lot frontage along a public right-of-way. A minimum of one indigenous shade tree shall be provided for every 40-feet of road frontage along the property and must be planted within 15-feet of the boundary with the public right-of-way. Examples of indigenous shade trees include but are not limited to maple and oak trees. Street trees shall be spaced at least 20-feet apart at the time of planting and must be a minimum of 2.5 inches in caliper at the time of planting.
 - ii. Landscaping of Parking Areas: Parking areas facing a public right-of-way or located within 20-feet of an abutting property boundary must include sufficient screening. Screening may be provided in the form of a continuous and dense mix of indigenous trees and shrubs planted within 12-feet of the limits of the parking area facing the roadway or abutting property. Alternatively, a mix of landscaping and stone walls or fencing compatible with the character of the District may be utilized to provide sufficient screening.

f. Exterior Lighting Standards:

1. Site lighting shall not adversely impact surrounding uses and residential projects, and be designed with minimal light spilling or reflecting into adjacent properties and with protection of the night sky and wildlife habitat. Such lighting shall not blink, flash, oscillate, or be of unusually high intensity of brightness, except for purposes of providing emergency services or to protect public safety. Soft white lighting is preferred.
2. For commercial uses, a photometric plan, indicating levels of illumination in foot-candles at ground level is required. The average illumination of an area

shall not exceed 3 foot-candles. Illumination measured at the property line shall not exceed 0.5 foot-candles.

3. All exterior lighting shall be fully-downcast. The Planning Board may waive this requirement in order to illuminate the architectural features of a historic building, a flag mounted on a flagpole, or large trees, if the lighting otherwise meets all requirements of the Ordinance and does not exceed an initial output of 1,800 lumens. In such cases, up-lighting is permitted but only if it is located at the ground level and narrowly directed to illuminate the features described in this section.
4. Freestanding exterior lights shall be no taller than 15-feet in height and fully downcast.
5. Exterior lighting shall be consistent with the historic character of the District and shall generally be of a lantern, agricultural, or gooseneck style. The Planning Board shall have the authority to waive this requirement if alternative styles of lighting are deemed necessary for site function and/or security.
6. Exterior lights associated with approved commercial uses shall be dimmed or turned off after 9 pm.
7. Seasonal holiday lighting shall be exempt from these regulations.

3.10.7 Standards for Signage

- a. Applications for permanent signage in the District must meet all of the following requirements:
 1. No signage in the District shall be internally illuminated.
 2. Only one freestanding sign is permitted for each property in the District that includes an approved home occupation, commercial, agricultural, or multi-family residential use, or that advertises a multi-unit housing development. No permanent freestanding signage shall be permitted on properties where the principal use is a duplex or single-family residence unless the property includes an approved home occupation.
 3. Externally illuminated signage is permitted if the lighting source is located above the sign and fully downcast and projected to illuminate only the sign area. Only soft-white lighting of signage is permitted.
 4. Signage must be consistent with the character and architecture of the property.
 5. Freestanding signs ~~must be set back a minimum of eight feet from the boundary line with the right-of-way and~~ shall not exceed a height of 10-feet.
 6. Freestanding signs must not exceed an area of 16 square-feet.
 7. Only one wall sign is permitted per road frontage on structures that include approved agricultural, commercial, or multi-family residential uses. No wall sign shall exceed an area of 16 square-feet. A second wall sign, not to exceed 10 square-feet, shall be permitted only on properties that have more than one

road frontage or include more than one structure that houses approved agricultural, commercial, or multi-family uses. Wall signs must be similar in character and general appearance to any freestanding signs on the property. Wall signs must be mounted to the façade of the building and congruent with the architecture of the structure. Roof-mounted signs are prohibited.

8. Both freestanding and wall signage shall be made of wood or masonry materials or of materials that are designed to realistically mimic the appearance of wood or masonry. Acceptable masonry materials include stone, brick, or slate.
 9. ~~No more than two directional signs may be sited within a single parcel.~~ Directional signs must be set back a minimum of eight-feet from the boundary line with the right-of-way. ~~The Planning Board shall be empowered to limit the number of directional signs sited on a property as part of its site plan review authority.~~
- b. Applications for permanent signage shall not require review of the Advisory Committee and approval of the Stratham Planning Board if the signage conforms to all of the requirements of Section 3.10.7.a of the Ordinance and meets all of the following standards:
1. Signage shall be limited to no more than two colors.
 2. Freestanding signs shall be limited to either a post sign or a monument sign as defined under Section 3.10.7.c. and meeting all the requirements outlined therein.
- c. Post and Monument Signage
1. Post Signs - A post sign consists of a one or two-sided sign hanging from the extended arm or bracket of a single post anchored into the ground. A post sign shall not exceed 8 square-feet in area and 10-feet in height. Please refer to Exhibit A for examples of acceptable post signs. Post signs must conform to the design examples outlined in Exhibit A.
 2. Monument Signs - A monument sign consists of a one or two sided sign anchored by either two individual posts or a base that is equal to or larger in width than the sign it supports. For monument signs supported by two posts, the sign must not exceed the height of the posts by more than one-foot and the sign may not obscure the forward view of the posts. Additionally, the combined width of the sign posts shall be no less than 10 percent but no more than 50 percent of the width of the sign area. For signs supported by a base, the width of the base must be larger than the width of the sign area but shall not exceed the sign area width by more than 40 percent. A monument sign shall not exceed 16 square-feet in area and six-feet in height. Please refer to Exhibit A for examples of acceptable monument signs. Monument signs must conform to the design examples outlined in Exhibit A.
- d. Residents and businesses in the District are permitted to display Temporary signage, provided such signage meets the following requirements:

1. Only one temporary sign per property may be displayed at a single time in the District.
2. Temporary signs on parcels where commercial or residential uses are the primary uses shall be displayed no more than 60 days in a calendar year. Temporary signs on parcels where agriculture is the primary use shall be displayed no more than 120 days in a year.
3. Temporary signs shall not exceed five feet in height.
4. Political signage shall be exempt from these requirements.

3.10.9 Demolition Standards:

- a. It is the intent of this Ordinance to preserve as much of the remaining historic character of the Portsmouth Avenue/Route 33 corridor as is practicable. The distinguishing original qualities or character of a building, structure, or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural feature should be avoided whenever possible. In rare cases when preservation is not feasible, demolition shall not be permitted unless one or the more following conditions are met:
 1. If a building has lost its architectural and historical integrity and importance and its removal will not result in a more negative, less appropriate visual effect on the district;
 2. If the denial of the demolition will result in an unreasonable economic hardship on the applicant as sufficiently proven to the Planning Board;
 3. If the public safety and welfare requires the removal of a structure or building; ~~and~~
 4. If the structural instability or deterioration of a property is demonstrated through a report by a structural engineer or architect. Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for rehabilitation versus demolition plus replacement; and
 5. Demolition by neglect, in which a structure is permitted to degrade by the property owner due to a lack of adequate maintenance, shall not by itself represent a valid justification for demolition. The Planning Board may require mitigation be provided in applications where the Board finds that the property owner allowed for demolition by neglect and preservation of the structure is no longer viable.
- b. Jurisdiction of applications for demolitions in the District shall rest with the Planning Board after advisement by the Advisory Committee. The provisions of the Demolition Review Ordinance shall not apply to properties within the District. However, the Planning Board or the Advisory Committee may request the advisement of the Demolition Review Committee related to an application for demolition within the District.

3.10.10 Land Uses:

- a. **Permitted Uses:** The District shall permit residential and agricultural uses and limited commercial uses that do not detract from the residential and rural character of the corridor. Permitted and non-permitted uses, and those permitted only by Conditional Use Permit or Special Exception, are outlined in **Table 3.6 Table of Uses**. Mixed-use properties, particularly those where a business proprietor maintains his/her or their residence on the same property are permitted and encouraged.

In order to ensure that commercial uses do not detract from the residential and rural character, the following criteria are required for all properties where commercial uses are proposed within the District:

1. All commercial uses, except for those explicitly exempt under this section, shall not exceed a gross interior floor area 2,500 square-feet of any property in the District, unless the Planning Board determines that such a use is consistent with the residential and rural character of the District and if either of the following three criteria are met:
 - i. If the total square-footage of the property exceeds 4,200 square-feet, the Planning Board may permit commercial uses on a property to exceed 2,500 square-feet provided the use is part of a mixed-use development and residential or agricultural uses make up at least 40 percent of the total floor area of the property.
 - ii. If the commercial use is located primarily within a structure that is at least 50 years old and the Planning Board determines that the application includes a substantial investment to adaptively reuse the structure, the Board may waive this requirement.
 - iii. The following uses are exempt from this requirement: Bed & Breakfasts, Community Centers, and Performing Arts Venues. Outdoor accessory uses, including outdoor dining, shall not be counted toward the 2,500 square-foot maximum.
 2. For commercial uses located in the District, the hours of operation where members of the public are invited to visit the premises shall be limited to no more than 40 hours per week and shall not occur between the hours of 9 pm and 7 am. Bed and Breakfasts shall be exempt from this requirement. The Planning Board shall be empowered to waive this requirement only if the Board determines that the use will not disturb abutting property owners or alter the residential and agricultural character of the corridor.
- b. **Multi-Family Housing:** Multi-Family and Workforce Housing is permitted in the District by Conditional Use Permit. Multi-Family and Workforce Housing shall be designed such that these uses, as viewed from the Route 33 right-of-way, are indiscernible from the single-family housing and agricultural uses that characterize the Corridor.
1. Multi-family housing development shall not exceed a density of three units per acre. In a multi-family development of five or more units, a minimum of 20 percent of the units must be set aside as workforce housing units.

2. Senior Housing, or any form of housing that is restricted to a specific age demographic, is prohibited in the District.

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TABLE 3.6 TABLE OF USES

USES:		ZONING DISTRICT									
A. RESIDENTIAL USES:		R/A	MAH	PRE	TC	G CBD CZ	SC	CLIO	IND	33HD ¹⁰	FMUD ¹⁸
1. Single-Family Dwelling.		P	P	P	P	X	X	X	X	P	X
2. Two-Family Dwelling.		P	P	P	P	X	S/C	X	X	P	X
3. Multi-Family Dwelling in accordance with Section 5.8 of this Ordinance.		X	X	C	P	C	C	C	X	C	P
4. Cluster Developments by conditional use permit in accordance with Section VIII of this Ordinance. (Rev. 3/99) Also Senior Housing as set forth in Section 5.7 (3/05)		C	X	C	P	C	C	X	X	C	X
5. Workforce Housing and Elderly Affordable Housing in accordance with Section 5.8 of this Ordinance.		C	X	C	P	C	C	C	X	C	P
6. Planned Retirement Communities and Elderly Affordable Housing in accordance with Sections 5.6 and 5.8 of this Ordinance ¹⁶		X	X	X	X	X	X	X	X	X	X
6. Manufactured Housing;		P	P	X	P	C	X	X	X	X	X
7. Mobile Homes; in accordance with Section IX of this Ordinance.		X	P	X	X	X	X	X	X	X	X
8. Home Occupations in accordance with Sections 2.1.27, 5.13 (3/10)		S/C	S/C	S/C	P	C	X	X	X	S/C	X
9. Accessory Dwelling Units in accordance with Section 5.4. (Rev. 3/22)		P	P	P	P	X	X	X	X	P	X
B. TEMPORARY RESIDENTIAL USES		-									
1. Overnight and Day Camps, Cottage Colonies, Vacation Resorts, and similar Recreational Facilities.		S/C	S/C	X	X	C	X	X	X	C	X
2. Bed and Breakfast Inns.		S/C	S/C	S/C	P	C	P	P	X	P	P
3. Hotels, Motels, and Hostels. (Rev. 3/98)		X	X	X	P	C	P	C	X	X	P
C. OUTDOOR/ RECREATIONAL USES:											
1. Forestry, Wildlife, Timber Preserves, Reservoirs, and Nature Study areas.		P	P	P	P	C	P	P	P	P	X
2. Public Parks and Playgrounds.		P	P	P	P	C	P	S/C	S/C	P	P
3. Commercial Riding Stables and Riding Trails.		S/C	S/C	X	X	X	X	X	X	C	X
4. Historic Building or Site open to public.		P	P	P	P	C	P	P	P	P	X

5. Recreational Camping Parks, Recreational Areas, Residential Tenting and Recreational Vehicles.	S/C	S/C	X	X	C	X	X	X	C	X
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D. <u>AGRICULTURAL / FORESTRY USES:</u>	R/A	MAH	PRE	TC	GCBD	SC	CLIO	IND	33HD ¹⁰	FMUD ¹⁸
1. Farming, Agriculture and Agritourism ¹ , including Dairying, Livestock, Animal and Poultry Raising, Tilling of Soil, Horticulture, Crop Production, including customary accessory uses.	P	P	P	P	C	P	P	P	P	C
2. Tree Farming, Commercial Timbering, Non-commercial Harvesting of Forest Products.	P	P	X	P ¹	C	P	P	S/C	P	X

USES:	ZONING DISTRICT									
E. <u>INSTITUTIONAL USES:</u>	R/A	MAH	PRE	TC	GCBD	SC	CLIO	IND	33HD ¹⁰	FMUD ¹⁸
1. Private Schools, Nursery through College.	S/C	S/C	X	P	C	S/C	S/C	S/C		
1. Educational Facilities	S/C	S/C	X	P	P	S/C	S/C	S/C	P	P
2. Day-Care Facilities. (Rev. 3/95)	S/C	S/C	S/C	P	C	S/C	C	S/C	P	P
3. Senior Citizen Centers.	S/C	S/C	S/C	P	C	X	C	X		
3. Community Centers, Art Galleries and Small Performing Arts Venues (limited to a total occupancy of no more than 50 persons)	S/C	S/C	S/C	P	P	X	C	X	P	P
4. Non-profit Lodges and Fraternal Organizations.	S/C	S/C	X	P	C	X	X	S/C	P	P
5. Hospitals, Nursing Homes and Rehabilitation Centers.	X	X	X	X	C	S/C	S/C	S/C	X	C
6. Nursing Homes and Rehabilitation Centers	X	X	X	X	C	S/C	S/C	S/C	C	C
7. Funeral Home or Parlor.	X	X	X	P	C	S/C	S/C	X	X	X
8. Place of worship plus customary ancillary facilities. (Rev. 3/89)	S/C	S/C	P	P	C	X	X	C ⁹	P	C
9. Cemetery.	P	P	P	P	C	X	X	X	P	X
10. Public Utilities.	S/C	S/C	S/C	P	C	S/C	S/C	S/C	S/C	C
11. Municipal Buildings.	P	P	P	P	C	P	P	P	P	P

F. <u>COMMERCIAL USES:</u>	R/A	MAH	PRE	TC	GCBD CZ	SC	CLIO	IND	33HD ¹⁰	FMUD ¹⁸
1. Retail Sales. (Rev. 3/13)	X	X	C ²	P	P	P	P	S/C	C ¹⁷	P
2. Personal Services. (Rev. 3/13)	X	X	P	P	P	P	P	P	C	P
3. Commercial Services.(Rev. 3/13)	X	X	X	P	P	P	P	P	C	P

4. Professional Office. (Rev. 3/13)	X	X	P	P	P	P	P	P	P	P
5. Banks & Lending Institutions	X	X	S/C	P	P	P	P	P	C	P
6. Restaurants	X	X	X	P	P	P	P	C ⁹	C	
6. Small Restaurants (under 2,500 square-feet of gross interior space)	X	X	C	P	P	P	P	C ⁹	C	P
7. Large Restaurants (over 2,500 square-feet of gross interior space)	X	X	X	P	P	P	P	C ⁹	X	P
8. Brew Pubs	X	X	X	P	P	P	P	C ⁹	X	P
9. Nano Breweries ¹²	X	X	X	P	P	P	P	P	C	P
10. Wineries	X	X	X	C	P	P	P	X	C	P
11. Filling Stations, Service Stations.	X	X	X	X	C	X	X	X		
12. Motor Vehicle Dealerships, Repair Garages, Body Shops, Paint Shops. (Rev. 3/99)	X	X	X	X	C	X	X	X		
11. Motor Vehicle Dealerships ¹⁴ , Automobile Service Facilities, and Gasoline Stations	X	X	X	X	C	X	X	X	X	X
12. Parking Lots or Parking Garages as a primary use ¹⁵	X	X	X	X	X	X	X	X	X	X
13. Veterinary Hospitals.	X	X	X	P	C	P	P	X	S/C	C
14. Kennels, with a minimum lot size of five acres and a structure setback of a minimum of 100 feet from all lot lines.	S/C	X	X	X	C	S/C	S/C	X	S/C	X
15. Airports, Runways, Control Towers, Administration Buildings, Hangars.	X	X	X	X	X	X	X	X	X	X
16. Drive-through Services	X	X	X	C	C	X	X	X	X	C
17. Society for Prevention of Cruelty to Animals. (Rev. 3/97)	S/C	X	P	X	X	X	X	X	X	X

USES:	ZONING DISTRICT									
F. <u>COMMERCIAL USES:</u>	R/A	MAH	PRE	TC	G CBD	SC	CLIO	IND	33HD ¹⁰	FMUD ¹⁸
18. Adult Uses. (Adopted 3/93)	X	X	X	X	S/C ⁵	S/C ⁵	X	X	X	X
19. Special Promotional Sales & Displays ⁶ . (Adopted 3/96)	X	X	X	P	P	P	P	X	X	P
20. Self Storage or Warehousing. (Adopted 3/99)	X	X	X	X	C ⁷	C ⁷	C ⁷	X	X	X
21. Small Event Venue or Conference Center (with a capacity of 50 or fewer occupants)	X	X	X	P	P	P	X	X	C	P
22. Large Event Venue or Conference Center (with a capacity of more than 50 occupants)	X	X	X	P	P	P	X	X	X	P

23. Movie Theater, Indoor Entertainment Complex. (Adopted 3/09)	X	X	X	P	P	P	X	X	X	C
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G. INDUSTRIAL USES:	R/A	MAH	PRE	TC	GCBD CZ	SC	CLIO	IND	33HD¹⁰	FMUD¹⁸
1. Manufacturing, Assembly, Fabricating Operations.	X	X	X	X	C	X	C	P	X	X
2. Research and Development, Corporate, and Business Offices.	X	X	X	P	C	P	P	P	X	P
3. Warehousing and Wholesaling Operations.	X	X	X	X	C	S/C	C	P	X	X
4. Freight and Trucking Terminals.	X	X	X	X	C	S/C	C	S/C	X	X
5. Bulk Storage and Distribution of Goods, except Fuels.	X	X	X	X	X	X	C	P	X	X
6. Bulk Storage of Fossil Fuels.	X	X	X	X	X	X	X	X	X	X
7. Earth Products Removal subject to the provisions of Section X.	P	P	X	X	C	P	P	P	C	X
8. Commercial Sawmills.	X	X	X	X	X	S/C	X	S/C	X	X
9. Junk Yards, Recycling Centers.	X	X	X	X	X	X	X	S/C	X	X
10. Special Promotional Sales & Displays ⁶ . (Adopted 3/96)	X	X	X	P	P	P	P	X	X	X
11. Maker Space	X	X	C	P	P	P	P	P	C	P
12. Light Industrial (Adopted 3/98)	X	X	X	X	X	P ⁸	P	P	C	C

NEW ZONING TABLE FOOTNOTES AND USE DEFINITIONS

FOOTNOTES

¹ - ~~In the Town Center District~~, Agriculture and Agritourism as defined in Section II, Definitions, 2.1.6. Forestry uses permitted include tree farming, commercial timbering, non-commercial harvesting of forest products.

¹¹ - All uses are subject to the requirements and limitations of Section 3.10 Route 33/Legacy Highway Corridor District

¹² - As defined under NH RSA 178:12-a

¹⁴ - Motor Vehicle Dealerships shall not be limited to lots for storage of motor vehicles for sale. A Motor Vehicle Dealership must include a structure of at least 2,500 square-feet where sales and other functions of the dealership are conducted.

¹⁵ - Parking lots or parking garages, defined as a storage area for six or more motor vehicles, shall be prohibited as a primary use of a parcel. Parking lots and parking garages are permitted accessory uses.

¹⁶ - Planned Retirement Communities and Elderly Affordable Housing shall be permitted in the Planned Retirement Community District only and prohibited in all other zoning districts.

¹⁷ - Retail Uses in the Route 33 Legacy Highway Heritage District shall be limited to a maximum of 2,000 square-feet of interior space.

¹⁸ - Uses are subject to the requirements of Section 3.7 of the Ordinance, Flexible/Mixed-Use Development District.

DEFINITIONS

Maker Space: A building or portion thereof used for the on-site production of parts or finished products by individual or shared use of hand- mechanical-, and electronic tools. Maker Spaces may include space for design and prototyping of new materials, fabrication methodologies, and products, as well as space for packaging, incidental storage, sales, and distribution of such projects. Maker Spaces may host classes or networking events which are open either to the public or to current and prospective members.

Art Studio or Gallery: A space used by an artist or artists for the creation of any visual art or craft, including but not limited to, painting, drawing, photography, sculpture, and pottery; of written works of fiction or nonfiction; or any performing art, whether for live or recorded performance, including music, dance, and theater. Retail sales of art produced on-site and arts instruction by the artist are permitted accessory uses.

4.2 **TABLE OF DIMENSIONAL REQUIREMENTS: (REV 3/00, 3/13, 3/18)**

(See explanatory footnotes on next page)

	DIMENSIONAL REQUIREMENT:	Residential/ Agricultural:	Manufactured Housing/Mobile Home:	Professional/ Residential:	Special Commercial: without Utilities / with Utilities (public water and sewer services) (Adopted 3/09)		Commercial /Light Industrial Office:	Industrial:	Retirement Planned Community: (h)
MINIMUM Lot Dimensions: (a)	AREA:	2-acres (c)	1-acre (c)	1-acre (c)	1-acre		1-acre	2-acres	5-acres
	CONTINUOUS FRONTAGE:	200' (c)	100' (c)	150' 200' (c)	200'	100'	150'	150'	50'
	DEPTH:	150'	150'	150'	100'	100'	100'	200'	200'
MINIMUM Yard Dimensions: (a)	FRONT:	30' (d)	30' (d)	30' (b)	60'	40'	30' (b)	30' (b)	40'
	SIDE:	20'	20'	20' (b)	25'	10'	25'	40'	40'
	REAR:	20'	20'	20' (b)	25'	20'	25'	50'	40'
	MAXIMUM HEIGHT OF STRUCTURE:	35'	35'	35'	35'	50'	35' (e)	35' (e)	45'
	MAXIMUM % BUILDING COVER/LOT:	20%	25%	30%	40%	60%	40%	40'	40%
	MAXIMUM BUILDING FOOTPRINT: (Adopted 3/00)	N/A	N/A	N/A	80,000 sq. feet		80,000 sq. feet	N/A	N/A
	MINIMUM % OPEN SPACE/LOT:	60%	50%	50%	50%	30%	40%	40%	40%
	FRONT OPEN SPACE SETBACK:	N/A	N/A	30' minimum 50' average	35' min. 50' avg.	NA	See: 4.3(j) explanatory notes	25' min. 50' avg.	40' min.

SIDE/REAR OPEN SPACE SETBACK:	N/A	N/A	20' minimum 30' average	25' min. 40' avg.	NA	See: 4.3(j) explanatory notes	25' min.	40' min.
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4.3 EXPLANATORY NOTES (REV. 3/18)

The following explanatory notes shall provide further definitions for the footnoted items in Table 4.2.

- (a) All measurements are in feet unless otherwise noted. The minimum lot size shall be increased depending on the soil classification as defined by the Natural Resources Conservation Service. (Rev. 3/98)
- (b) When the footnoted professional/residential, commercial, office, or industrial uses abut residential uses or a residential district, the minimum front and rear setbacks shall be 100 feet and the side setback shall be 50 feet.
- (c) For a duplex house on a single lot, the minimum lot size shall be 1.5 acres and have 175 feet of continuous frontage. In the R/A District a duplex house on a single lot shall have a minimum lot area of 3 acres and a minimum continuous frontage of 200 feet. (Rev. 3/00)
- (d) For lots that abut Route 33 or Route 108, the minimum front setback shall be 10 feet from the State Right-of-Way or 20 feet from edge of pavement, whichever is greater. The above setbacks shall not apply to septic tanks and/or leaching fields. Septic tanks and/or leaching fields must be located at least 30 feet from the edge of a right-of-way, or comply to the standards set forth in Section 20.1.1 & 2 of this Ordinance; the more restrictive provision shall apply. In addition, for land that lies south and west of Route 101 that is also served by municipal sewer and water, the minimum rear and side open space setback shall be the same as the yard dimensions, the minimum open space shall be 15%, and the height of the buildings may also be increased in accordance with footnote f, below. (Rev. 3/91, 3/96, 3/99, 3/13)
- (e) For the footnoted districts, an applicant may request a waiver to these regulations from the Planning Board during Site Plan Review, to exceed the height limit provided it is determined by the Board that the extra height will not create a safety hazard. (Rev. 3/20)
- (f) Except as modified by Section 9.5. (Rev. 3/89)
- (g) The Planning Board shall adopt regulations to administer the open space and buffer requirements for the CLIO zone where the zone abuts residential zones and uses. These buffers shall provide visual and otherwise protective vegetative buffer utilizing existing vegetation and landscaping to the maximum extent feasible, and where appropriate, fabricated materials and fences. Such buffers shall be at a minimum depth of 100', and may provide in all seasons an opaque screening at the discretion of the Planning Board. However, the Planning Board may require a greater distance. The buffer may exist outside the CLIO district through ownership or easement and may contain appurtenant structures that are compatible with the maintenance of a vegetative cover (e.g. leach fields, drainage areas, etc.). (Adopted 3/98)

(h) For a Retirement Planned Community, the minimum lot shall be 5 acres and height shall be measured with a maximum of three (3) stories above grade. Density, setbacks between structures, setbacks to interior lot lines, minimum lot size per unit, setbacks to wetlands, and parking shall be controlled by Section V: 5.6, Retirement Planned Community. (Adopted 3/99)

(i) An approved lot must be created where a square, with each side measuring 75% of the required frontage required by the Zoning District is placed at, and having one side placed along and in parallel with the front setback line as required by the base zone. The placement must not cause any portion of the square to cross a proposed lot line. ~~For pork chop lots, a square, with each side measuring 75% of the required frontage required by the Zoning District is placed at, and having one side placed along and in parallel with the setback line that is either parallel to, or most proximal to, the street providing frontage for the lot.~~



TOWN OF STRATHAM

Incorporated 1716

10 Bunker Hill Avenue · Stratham, NH 03885

Town Clerk/Tax Collector 603-772-4741

Select Board / Administration/ Assessing 603-772-7391

Code Enforcement/ Building Inspections/ Planning 603-772-7391

Fax (All Offices) 603-775-0517

TO: Planning Board members
FROM: Mark Connors, AICP, Town Planner
DATE: January 15, 2022
RE: **Pedestrian Cyclist Advocacy Committee**

For several years, the Town has appointed a Pedestrian Cyclist Advocacy Committee (PCAC) with members appointed by the Select Board. The Committee has operated independent of the Planning Board with staff support provided by the Parks and Recreation Department. The PCAC has contributed to several important planning efforts in Stratham including the Safe Routes to School Plan for Stratham Memorial School, pedestrian/bicycle enhancements to Guinea Road, and planned improvements to Gifford Farm Road.

More recently, discussions have focused on how the PCAC, or a similar committee, could be most valuable and most productive to the Town of Stratham. Because the Planning Board and the PCAC share many of the same interests and goals, discussion has settled on better aligning the Committee's activities with those of the Planning Board. More specifically, it has been proposed to reform the Committee as an Advisory Sub-Committee of the Planning Board instead of an Advocacy Committee appointed directly by the Select Board. The Planning Board would form the Sub-Committee and appoint its members, with at least one Planning Board member serving on the Sub-Committee, and provide it specific tasks or activities each year in which to make recommendations to the Planning Board.

Below are a few potential activities such a Committee could undertake this year:

- 1.) Advise the Planning Board and Conservation Commission on recommendations specific to pedestrian and bicycle travel for the Open Space Plan which is slated to begin this year.
- 2.) Advise the Planning Board on proposed recommendations to the Site Plan and Subdivision Regulations to better support bicycle and pedestrian travel.
- 3.) Compose a Complete Street Policy for the Planning Board's consideration and potential adoption by the Select Board.

For discussion on January 19, it would be helpful to understand if the Planning Board supports this approach, what specific activities would be helpful to delegate to such a Committee, and any recommendations from the Board on potential Committee members, including Planning Board members who might be interested in serving. Staff will need some time to pull together a draft list of members for consideration at the Board's next meeting.